

CITY OF AUSTIN

CASE # 2011-035597 RM  
PLAN REVIEW # \_\_\_\_\_

ROW # 10581724

D1/1

APPLICATION TO THE RESIDENTIAL DESIGN  
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 5106 Beverly Skyline

LEGAL DESCRIPTION: Subdivision - \_\_\_\_\_

Lot(s) 8 Block F Outlot \_\_\_\_\_ Division Beverly Hills Sec 2

LAND STATUS DETERMINATION CASE NUMBER (if applicable) \_\_\_\_\_

I/We Porter Baker on behalf of myself/ourselves as authorized agent for

Kirby Walker affirm that on 2 MAY 2011

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
- Maximum Linear feet of Gables protruding from setback plane
- Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

\_\_\_\_\_ Side Wall Length Articulation  
(Please describe request. Please be brief but thorough).

Increase the allowed building to lot square foot ratio to .42 to accommodate a total addition of 404 square feet. This will facilitate providing a 215 sq ft expansion to the kitchen and living room on the first floor, a 117 sq ft increase for an improved bathroom on the second floor, and a new 72 sq ft addition to the lower level for a small convenience 1/2 bathroom in the stairwell and a safer stairway to the lower yard and basement.

Waiver Increase Request - 251% F.A.R.

in a SF-3 zoning district.

**Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) - case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.**

D1/2

**CITY OF AUSTIN  
APPLICATION TO THE RESIDENTIAL DESIGN  
AND COMPATIBILITY COMMISSION  
GENERAL MODIFICATION WAIVER**

**REASONABLE USE:**

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

It limits the use of living space needed because it counts the large basement and large garage that are under useable living space. It limits the reasonable addition of small improvements to the function and safe access to the property for a property that is not perceived as unusually large.

**REQUEST:**

2. The request for the modification is unique to the property in that:

The property is on a steep corner lot with heavy vegetation. The home is stacked vertically, yet not perceived as particularly large due to the terrain. The new stairwell will provide easier and safer access to the backyard and the basement below the house.

**AREA CHARACTER:**

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

The hillside location facilitates the large building size because the large basement and garage are under the living space and have very low visibility from the street or neighbors. The house has very low visibility from the street or neighbors due to the steep hillside and large number of trees. Only one neighbor can even see the addition requested. The corner lot is perceived as additional lot square footage making the home and addition appear less than the neighbor's large houses. The home is well below the impervious cover guideline and far below the McMansion height guidelines. The modification will enhance the usability and function and safety of the home without a negatively perceived increase in size. The modification will improve the aesthetics and value of the home, and hence the neighborhood.

D1/3

CITY OF AUSTIN  
APPLICATION TO THE RESIDENTIAL DESIGN  
AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

**APPLICANT CERTIFICATE** - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 13412 Onion Creek Dr

City, State MANHATTAN, TX Zip 78652

Phone 512-468-8668 Printed Name Porter Baker

Signature Porter Baker Date 2 MAY 2011

**OWNER'S CERTIFICATE** - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 5106 Beverly Skyline

City, State Austin TX Zip 78731

Phone 512-331-1256 Printed Name Kirby Walker

Signature [Signature] Date May 2, 2011

b1/4

TO: Residential Design and Compatibility Commission

FROM: Porter Baker, Probuild Enterprises LLC, manager

Reference 5106 Beverly Skyline

3 May 2011

Attached is our request for an exception to the FAR guidelines.

A Brief History:

On April 8, I submitted a permit application, attached, without knowledge that the basement on this property had to be included in the building coverage calculations. When I submitted the application, I looked used the county tax records for the square footages and I personally measured the decks. There was no number for basement square footage in the county tax records and I assumed it was of no consequence.

We were issued a permit. We started excavation and the framing of a stair to the lower level. We had to move the main sewer line to accommodate the stair. In that process the customer thought it was a good idea to add a toilet pipe and possible future sink pipe at the bottom of the stairwell for use when they were working/in leisure in the lower yard or in the basement. I agreed and had the plumber put in the requested pipes for future use while he was there (about a 1.5 hr additional cycle).

I went back to apply for a modification to the existing permit to include the ½ bath downstairs in the stairwell. I was told I had to submit a new permit for the ½ bath - which I did. In review of the new permit, it was pointed out to me by Ms Ramirez that the basement was not included in the prior permit and a permit should not have been issued because the FAR exceeded .4 and that I would need an exception. She read me the regulation regarding the 3 ft or more of exposed basement. This house has more than 3 ft of basement exposed.

So I went back to the jobsite and began preparing the required documentation (attached) for the exception. This time, I personally measured everything on the house. I found the county records were significantly inaccurate in living area, garage area, and of course missing the basement square footage. The garage was very large and the basement was also large putting the FAR at 45%.

I take responsibility for the error of not knowing the new requirements for basements. I normally personally measure everything on a house before the application, and I did not do that this time. I have corrected all of the measurements and to the best of my knowledge and ability the revised numbers on the revised application are now correct. The county records should be updated to reflect these numbers.

D1/E

I have terminated work at the site with the concrete stairwell and foundation forms in place ready to pour.

Hence, we request the exception. In my opinion, the house definitely merits an exception as articulated in the application. The few square feet will not be even noticeable from the street or neighbors and is quite consistent with other homes in the area. This is one of the smaller lots in the neighborhood. There are also other lots in the neighborhood which could be built out to absolutely huge mansions (such as the one across the street that can build up to 13,000 sf) based on their lot size.

I request a review and approval by the commission

Thank you

A handwritten signature in cursive script that reads "Porter Baker". The signature is written in dark ink and is positioned below the text "Thank you".

D1/6

Our home at 5106 Beverly Skyline which we purchased in 2006 was built in 1975 and had an addition built in the mid 80's. We have been planning a small addition and remodel of our home for almost two years. A primary reason for the addition is to provide safe access to the back yard and the basement. The interior stairwell to the basement was steep and difficult to use and will become more difficult over time because we are in our early 60's and intend to live in this house for a least another 20 years. Our new stair addition provides a new stairwell to get to both the basement and the backyard, eliminating both the interior and exterior staircases that were unsafe. Moving of the interior staircase is also necessary to accomplish the architecture design of the remodel which allows us to expand our kitchen and open up our living areas so we can enjoy more quality time with our family and friends. We also recently had an arborist tell us that our trees are not thriving because of the runoff in our backyard and lack of good topsoil. The overall plan for the remodel includes terracing our very steep backyard to prevent continued erosion, and creating a play area for our grandchildren.

Our permit was approved on April 8, 2011, and we are now three weeks into the project. This week, we learned that there is a problem with our permit due to the total square footage of our home. Our lot is 10,240 sq ft and according to the 40% rule, we can build up to 4096 sq ft. We purchased our home in 2006 and the tax records showed our home as 3164 sq ft. We are adding 383 sq ft to the back of our house so we assumed that we were well within this guideline. The engineer also showed that we were well within the guidelines. Our home has a very large (788 sq ft) 4 car tandem garage built by the previous owners which is now being included in the total building area. We have a basement (713 sq ft), which was built with the original home in 1975 and is entirely under the footprint of our home. It has never been included in the square footage as listed on the county tax records, but we are now being instructed to include this square footage in the total building area. This space is used primarily for storage and occasionally as an area to have a 'garage' type music jam.

According to the calculations done by our contractor using COA guidelines, the new proposed square footage exceeds the .4 rule by 475 square feet. The building area that is now being included in the calculations for the garage and the basement total over 1500 sq. ft and represents over 1/3 of the total building area square footage.

Our home and addition are well within the McMansion ordinance height requirements and with the impervious cover guidelines; however, we are over the total square footage 40% guidelines mostly because of our large tandem garage and basement, which is entirely under our living space. Our neighborhood does not have consistent lot sizes because of the steep terrain and a greenbelt area. Comparing lot sizes with our nearby neighbors (~300 feet), our lot is the 2<sup>nd</sup> smallest, thereby also making our allowable building area using the 40% rule the 2<sup>nd</sup> smallest. Because of this, we feel that our small addition will be in keeping with the typical home size of our neighbors. We respectfully request a variance to the Maximum Floor to area ratio so that we can continue with our remodel.

Sincerely,



Kirby and Maureen Walker

**CITY OF AUSTIN**  
**RESIDENTIAL PERMIT APPLICATION "A"**

BP Number PR-11-029332  
 Building Permit No. \_\_\_\_\_  
 Plat No. \_\_\_\_\_ Date 4/8/11  
 Reviewer B. Hur

**RESIDENTIAL PROJECT DATA**

Service Address 5106 Beverly Skyline  
 Legal Description \_\_\_\_\_  
 Lot 8 Block F Subdivision Beverly Hills Section 2 Phase \_\_\_\_\_  
 Tax Parcel No. 0131030701  
 If in a Planned Unit Development, provide Name and Case No. \_\_\_\_\_  
 (attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.  
 Description of Work  
 New Residence  
 Duplex  
 Garage  attached  detached  
 Carport  attached  detached  
 Pool  
 Remodel (specify) Remodel Kitchen, Laundry, bath stair, master bath, master bedroom  
 Addition (specify) Extend living rm, kitchen, master bath, master closet  
 Other (specify) \_\_\_\_\_  
 Zoning (e.g. SF-1, SF-2...) SF-3

Height of Principal building 24 ft. # of floors 2 Height of Other structure(s) NA ft. # of floors NA  
 Does this site currently have water and wastewater availability?  Yes  No If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.  
 Does this site have a septic system?  Yes  No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.

Does this site have a Board of Adjustment ruling?  Yes  No If yes, attach the B.O.A. documentation  
 Will this development require a cut and fill in excess of 4 feet?  Yes  No  
 Does this site front a paved street?  Yes  No A paved alley?  Yes  No  
 Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area?  Yes  No

5337  
 1328  
 1000  
 13910

**VALUATIONS FOR REMODELS ONLY**

Building	\$ <u>25337</u>
Electrical	\$ <u>9327</u>
Mechanical	\$ <u>10,000</u>
Plumbing	\$ <u>9387</u>
Driveway/Sidewalk	\$ <u>0</u>
<b>TOTAL</b>	<b>\$ <u>54061</u></b>
(labor and materials)	

**VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY**

Lot Size	<u>10,240</u> sq. ft.
Job Valuation - Principal Building	\$ <u>29,000</u> @ 60¢/sf (Labor and materials)
Job Valuation - Other Structure(s)	\$ <u>0</u> (Labor and materials)
<b>TOTAL JOB VALUATION</b>	<b>(sum of remodels and additions)</b>
\$	<u>80,051</u>
(Labor and materials)	

**PERMIT FEES (For office use only)**

	NEW/ADDITIONS	REMODELS
Building	\$ <u>333.00</u>	\$ _____
Electrical	\$ <u>111.00</u>	\$ _____
Mechanical	\$ <u>104.00</u>	\$ _____
Plumbing	\$ <u>104.00</u>	\$ _____
Driveway & Sidewalk	\$ _____	\$ _____
<b>TOTAL</b>	<b>\$ _____</b>	<b>\$ _____</b>

**OWNER / BUILDER INFORMATION**

OWNER Name KIRBY WALKER Telephone (h) 331-1256  
 (w) \_\_\_\_\_  
 BUILDER Company Name Probuild Enterprises LLC Telephone 468-8668c  
 Contact/Applicant's Name Porter Baker Pager \_\_\_\_\_  
 FAX \_\_\_\_\_  
 CONTRACTOR Contractor NA Telephone \_\_\_\_\_  
 CERTIFICATE OF OCCUPANCY Name KIRBY WALKER Telephone 331-1256  
 Address 5106 Beverly Skyline City Austin ST TX ZIP 78731

I like to be notified when your application is approved, please select the method:  
 Telephone  e-mail: allfe@earthlink.net  
 You may check the status of this application at [www.ci.austin.tx.us/development/picrivr.htm](http://www.ci.austin.tx.us/development/picrivr.htm)

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CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "B"

CITY OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE [Signature] DATE 7 Apr 11

HOME BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) \_\_\_\_\_

Rejection Notes/Additional Comments (for office use only):

FCAT - ✓

TREES - ✓

ESPA - ✓

Demo - will be removing walls after Addition is constructed  
no Demo needed

MANDA - ✓ no expired permits

FIS - ✓ no Flood Plain

Service Address \_\_\_\_\_

pl \_\_\_\_\_ s Signature

Date \_\_\_\_\_

RESIDENTIAL PERMIT APPLICATION "C"

BUILDING COVERAGE

The area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground-level landscaping, or open recreational facilities.

- a. 1<sup>st</sup> floor conditioned area
- b. 2<sup>nd</sup> floor conditioned area
- c. 3<sup>rd</sup> floor conditioned area
- d. Basement
- e. Garage / Carport
  - attached
  - detached
- f. Wood decks [must be counted at 100%] + stairs
- g. Breezeways
- h. Covered patios
- i. Covered porches
- j. Balconies
- k. Swimming pool(s) [pool surface area(s)]
- l. Other building or covered area(s)  
Specify \_\_\_\_\_

Existing	New / Addition
1778 * sq.ft.	215 sq.ft.
1386 * sq.ft.	215 sq.ft.
sq.ft.	sq.ft.
sq.ft.	sq.ft.
418 * sq.ft.	sq.ft.
sq.ft.	sq.ft.
817 sq.ft.	sq.ft.
sq.ft.	sq.ft.
24 sq.ft.	sq.ft.
sq.ft.	sq.ft.
sq.ft.	sq.ft.
sq.ft.	sq.ft.

117

TOTAL BUILDING AREA (add a. through l.) 4432 sq.ft. 430 sq.ft.

OT 12,240 ~~sq.ft.~~

TOTAL BUILDING COVERAGE ON LOT (subtract, if applicable, b., c., d., k. and l. if uncovered)

MAX 40% 4096 ~~sq.ft.~~ last decks - 817

2435 sq.ft. / 23.78 % of lot

PERVIOUS COVERAGE

Include building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements in calculating impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in calculating coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

- a. Total building coverage on lot (see above) 2435 sq.ft.
- b. Driveway area on private property 506 sq.ft.
- c. Sidewalk / walkways on private property 16 sq.ft.
- d. Uncovered patios 50 sq.ft.
- e. Uncovered wood decks [may be counted at 50%] 817 x .5 = 409 sq.ft.
- f. Air conditioner pads 30 sq.ft.
- g. Concrete decks sq.ft.
- h. Other (specify) concrete drainage 68 sq.ft.

TOTAL IMPERVIOUS COVERAGE (add a. through h.) 3514 sq.ft. ✓

MAX 45% 4608 ~~sq.ft.~~

3432 % of lot

\* = Calculations from TCAD RECORDS

OF AUSTIN  
RESIDENTIAL PERMIT APPLICATION "D"  
FLOOR AREA RATIO INFORMATION

DY10 APPROVED  
ORIGINAL APPLICATION

TO BE COMPLETED FOR ALL PROPERTIES LOCATED WITHIN THE RESIDENTIAL DESIGN AND COMPATIBILITY STANDARDS ORDINANCE BOUNDARY AREA.

Address 5106 Beverly Skyline, AUSTIN, 78731

Applicant's Signature [Signature] Date 7 Apr 11

GROSS FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.

	Existing		New / Addition
<b>I. 1<sup>st</sup> Floor Gross Area</b>			
a. 1 <sup>st</sup> floor area (excluding covered or uncovered finished ground-floor porches)	<u>1778</u> sq.ft.	<u>+215</u>	<u>= 1993</u> sq.ft.
b. 1 <sup>st</sup> floor area with ceiling height over 15 feet.	_____ sq.ft.	_____	<u>0</u> sq.ft.
c. TOTAL (add a and b above)	_____ sq.ft.	_____	_____ sq.ft.
<b>II. 2<sup>nd</sup> Floor Gross Area</b> See note 1 below			
d. 2 <sup>nd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft)	<u>1386</u> sq.ft.	<u>+215</u>	<u>= 1601</u> sq.ft.
e. 2 <sup>nd</sup> floor area with ceiling height > 15 feet.	_____ sq.ft.	_____	<u>0</u> sq.ft.
f. TOTAL (add d and e above)	_____ sq.ft.	_____	_____ sq.ft.
<b>III. 3<sup>rd</sup> Floor Gross Area</b> See note 1 below			
g. 3 <sup>rd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft).	<u>0</u> sq.ft.	_____	<u>0</u> sq.ft.
h. 3 <sup>rd</sup> floor area with ceiling height > 15 feet	_____ sq.ft.	_____	_____ sq.ft.
i. TOTAL (add g and h above)	_____ sq.ft.	_____	_____ sq.ft.
<b>IV. Basement Gross Area</b>			
j. Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	<u>0</u> sq.ft.	_____	<u>0</u> sq.ft.
<b>V. Garage</b>			
k. <input checked="" type="checkbox"/> attached (subtract 200 square feet if used to meet the minimum parking requirement)	<u>418 - 200 = 218</u> sq.ft.	_____	<u>1</u> sq.ft.
l. <input type="checkbox"/> detached (subtract 450 square feet if more than 10 feet from principal structure)	_____ sq.ft.	_____	_____ sq.ft.
<b>VI. Carport</b> (open on two or more sides without habitable space above it subtract 450 square feet)	<u>0</u> sq.ft.	_____	<u>0</u> sq.ft.
<b>VII. TOTAL</b>	<u>3382</u> sq.ft.	_____	<u>3812</u> sq.ft.

TOTAL GROSS FLOOR AREA (add existing and new from VII above)	<u>3812</u> sq. ft.
GROSS AREA OF LOT	<u>10,240</u> sq. ft.
FLOOR AREA RATIO (gross floor area / gross area of lot)	<u>37.2</u> %

1. If third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.

- It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater
- It only has one floor within the roof structure
- It does not extend beyond the foot print of the floors below
- It is the highest habitable portion of the building; and
- Fifty percent or more of the area has a ceiling height of seven feet or less.

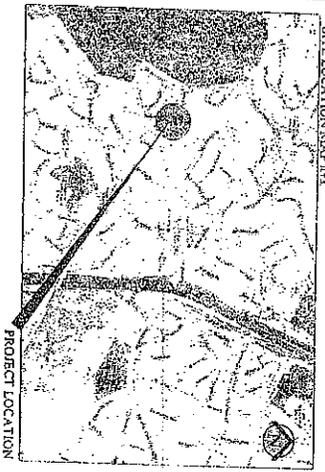
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## PROPOSED NEW ADDITION TO SINGLE FAMILY RESIDENCE

DEVELOPER:  
 KERRY & ALDEN WALKER  
 5106 BEVERLY SKYLINE  
 AUSTIN, TEXAS 78731  
 Ph: (512) 925-2391

BUILDING COVERAGES	
FOUNDATION	30% MINIMUM
WALLS	30% MINIMUM
ROOF	30% MINIMUM
MECHANICAL	30% MINIMUM
ELECTRICAL	30% MINIMUM
PLUMBING	30% MINIMUM
MECHANICAL	30% MINIMUM
ELECTRICAL	30% MINIMUM
PLUMBING	30% MINIMUM

IMPERMISSIBLE COVERAGES	
FOUNDATION	30% MINIMUM
WALLS	30% MINIMUM
ROOF	30% MINIMUM
MECHANICAL	30% MINIMUM
ELECTRICAL	30% MINIMUM
PLUMBING	30% MINIMUM
MECHANICAL	30% MINIMUM
ELECTRICAL	30% MINIMUM
PLUMBING	30% MINIMUM

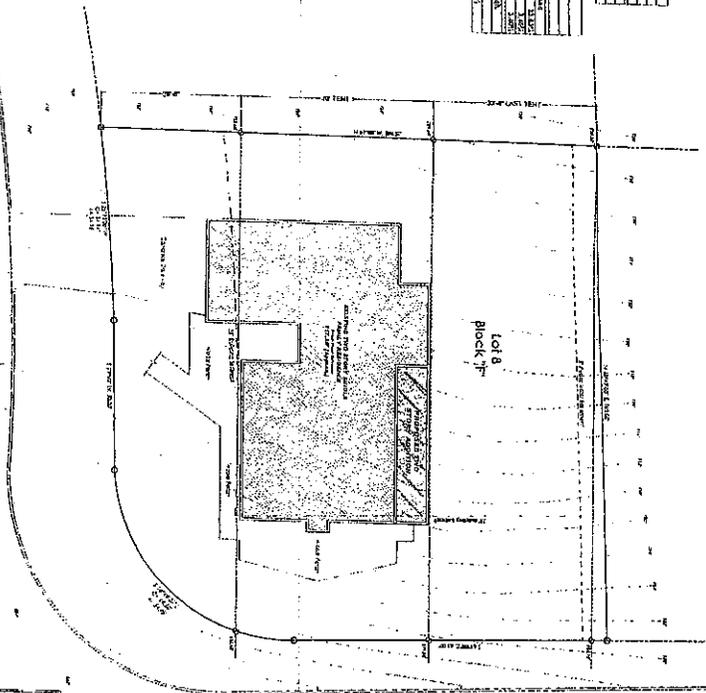


5106 BEVERLY SKYLINE  
 AUSTIN, TEXAS 78731

SHEET INDEX	
COVER SHEET AND SITE PLAN	CE 1 OF 8
EXISTING FLOOR PLANS	CE 2 OF 8
DEMOLITION-TEMP SHORING PLAN	CE 3 OF 8
PROPOSED FLOOR PLANS	CE 4 OF 8
ADDITION FOUNDATION PLAN AND DETAILS	CE 5 OF 8
FRAMING PLAN FOR ADDITION	CE 6 OF 8
FRAMING PLAN FOR CEILING MODIFICATIONS	CE 7 OF 8
REAR BUILDING ELEVATION	CE 8 OF 8

REVISIONS AND CORRECTIONS				
No.	Description	Revised By	Checked By	Date

### BEVERLY SKYLINE (SFR ROW)



SCALE  
 1/4" = 30'

**SITE PLAN**

APPROVED FOR PERMIT

DATE: 4/18/11

BY: [Signature]

PLANNING AND DEVELOPMENT REVIEW DEPARTMENT

CITY OF AUSTIN

CITY OF AUSTIN  
 APPROVED FOR PERMIT  
 Greg Guentsey  
 Planning and Development Review Department  
 Date: 4/18/11

The granting of a permit for, or approval of these plans and specifications shall not be construed to be a permit of, or an approval of any violation of any of the provisions of the current adopted building codes or any other ordinances of the City of Austin.

VERSION 2.10

PROJECT: 5106 BEVERLY SKYLINE

DATE: 4/18/11

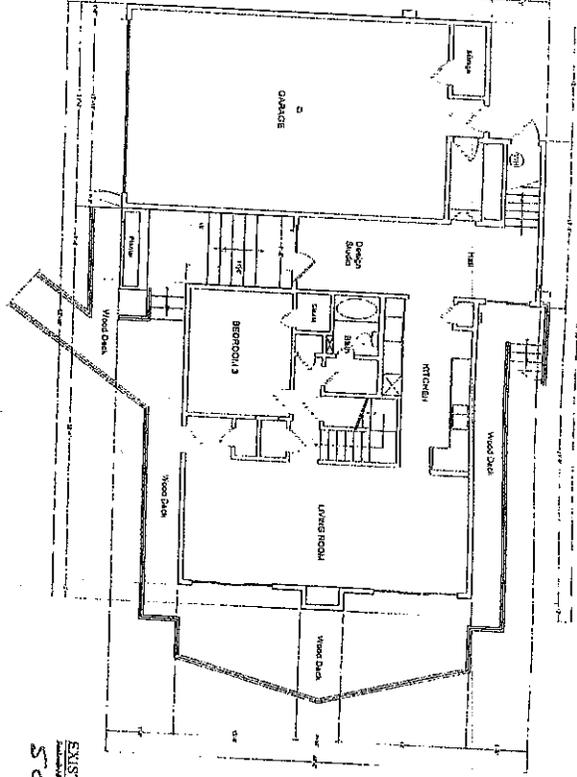
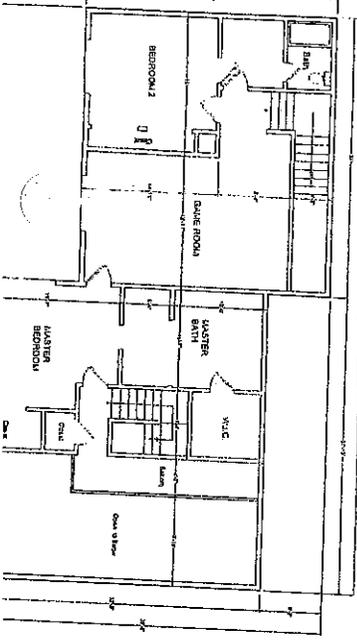
BY: [Signature]

PLANNING AND DEVELOPMENT REVIEW DEPARTMENT

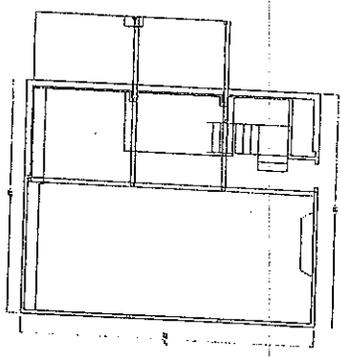
CITY OF AUSTIN

D1/12

Original



EXISTING LOWER LEVEL PLAN  
 SCALE 1/6" = 1'



BASEMENT  
 SCALE 1/6" = 1'

VERSION 2.10

PROJECT: PROPOSED NEW ADDITION TO EXISTING FAMILY RESIDENCE

DESIGNER: KERRY & MALDEN WALKER

DATE: 11/20/11

PROJECT LOCATION: 1100 REVERLY AVENUE, ALBUQUERQUE, NM 87103

ARCHITECT: G/E

DATE: 11/20/11

PROJECT NO: 1100 REVERLY AVENUE

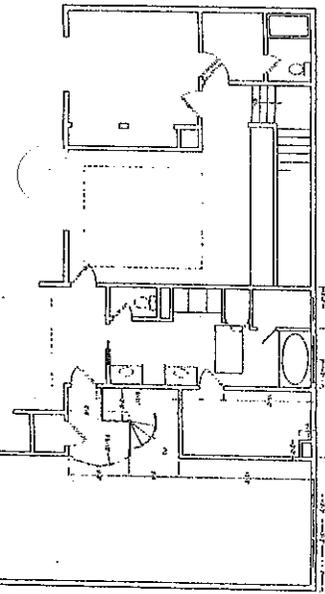
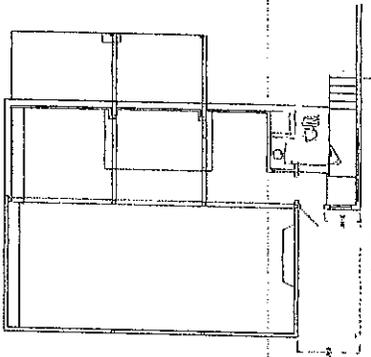
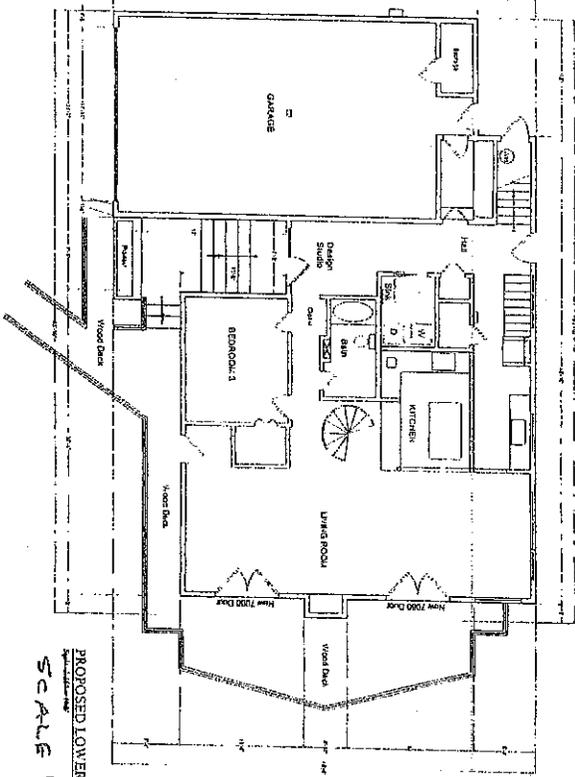


REVIEWED FOR ZONING ONLY

WJH 4/8/11

01/13

Original



REVIEWED FOR ZONING ONLY

WMA 4/8/11



VERSION 2.10

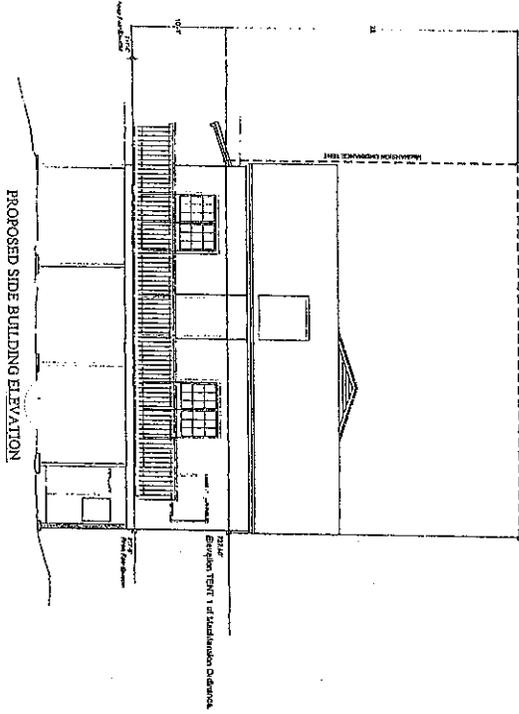
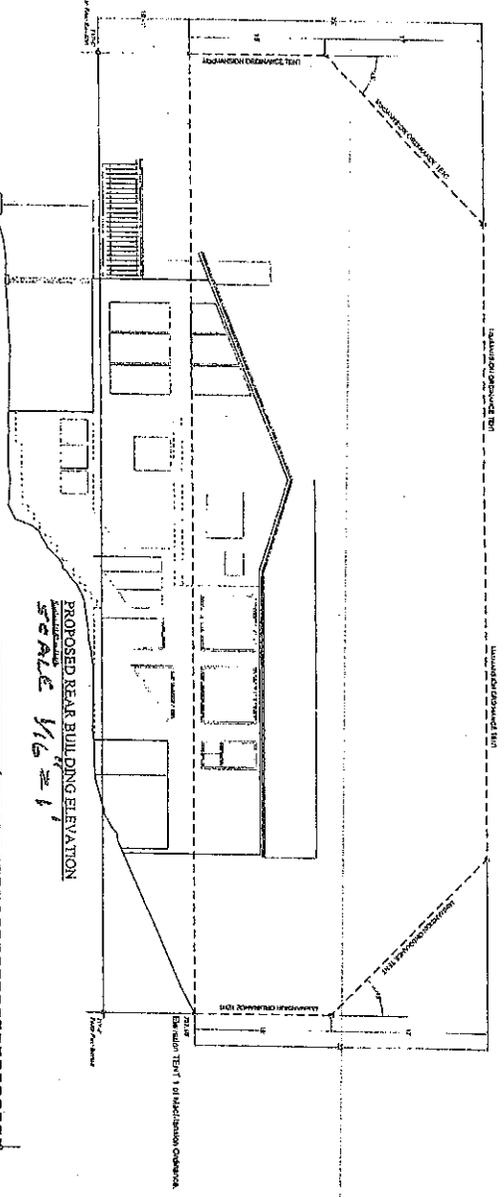
**G/E**  
 Gerald E. Engineering Company  
 3001 ...  
 410 ...  
 410 ...

PROPOSED NEW ADDITION TO  
 EXISTING FAMILY RESIDENCE  
 KERRY & MARLEEN WALKER  
 3108 BENDALE AVENUE  
 AUSTIN, TEXAS 78741

ATTN: 177

D1/14

Original



DATE: 04/10/12

REVIEWED FOR ZONING ONLY

WST 4/8/11



VERSION 2.10

G/E

Grade 1 Engineering Company  
200 West Bank, Suite 10, White, TX 79782  
637.782.2266  
http://www.grade1.com

PROPOSED NEW ADDITION  
EXISTING EXISTING RESIDENTS  
KERRY & MAUREEN WALKER

518 SWEET'S WAY  
LUBBOCK, TEXAS 79401

DATE	BY	REV
04/10/12	WST	CE 8
04/10/12	WST	OF 8

01/15

RESIDENTIAL PERMIT APPLICATION "A"

Permit Number 1100041401  
 Building Permit No. \_\_\_\_\_  
 Plat No. \_\_\_\_\_ Date 1/11  
 Reviewer [Signature]

REVISED

PRIMARY PROJECT DATA

Address 5106 Beverly Skyline 78731 Tax Parcel No. 0131030701  
 Lot 8 Block F Subdivision BEVERLY HILLS Section 2 Phase \_\_\_\_\_  
 If in a Planned Unit Development, provide Name and Case No. \_\_\_\_\_  
 (attach final approved copies of subdivision and site plan)

If this site is not a legally subdivided lot, you must contact the Development Assistance Center for a Land Status Determination.

Description of Work  
 New Residence  Remodel (specify) add basement 1/2 Bath for convenience to yard as part of other remodel underway.  
 Duplex  Addition (specify) \_\_\_\_\_  
 Garage attached \_\_\_\_\_ detached \_\_\_\_\_  
 Carport attached \_\_\_\_\_ detached \_\_\_\_\_  
 Pool \_\_\_\_\_  
 Other (specify) \_\_\_\_\_

Height of Principal building NA ft. # of floors 2 Height of Other structure(s) NA ft. # of floors NA  
 Does this site currently have water and wastewater availability?  Yes  No. If no, please contact the Austin Water Utility at 512-972-0000 to apply for water and/or wastewater tap application, or a service extension request.  
 Does this site have a septic system?  Yes  No. If yes, for all sites requiring a septic field you must obtain an approved septic permit prior to a zoning review.  
 Does this site have a Board of Adjustment ruling?  Yes  No If yes, attach the B.O.A. documentation  
 Will this development require a cut and fill in excess of 4 feet?  Yes  No  
 Does this site front a paved street?  Yes  No A paved alley?  Yes  No  
 Is this property within the Residential Design and Compatibility Standards Ordinance Boundary Area?  Yes  No

**VALUATIONS FOR REMODELS ONLY**

Building	\$ 1806
Electrical	\$ 225
Mechanical	\$
Plumbing	\$ 663
Driveway/Sidewalk	\$
<b>TOTAL</b>	<b>\$ 2724</b>
(labor and materials)	

**VALUATIONS FOR NEW CONSTRUCTION OR ADDITIONS ONLY**

Lot Size	<u>NA</u> sq.ft.
Job Valuation - Principal Building	\$
(Labor and materials)	
Job Valuation - Other Structure(s)	\$
(Labor and materials)	
<b>TOTAL JOB VALUATION</b>	<b>\$</b>
(sum of remodels and additions)	
(Labor and materials)	

**PERMIT FEES (For office use only)**

	NEW/ADDITIONS	REMODELS
Building	\$	\$ 41
Electrical	\$	\$ 23
Mechanical	\$	\$
Plumbing	\$	\$ 29
Driveway & Sidewalk	\$	\$
<b>TOTAL</b>	<b>\$</b>	<b>\$</b>

OWNER / BUILDER INFORMATION

OWNER Name Kirby Walker Telephone (h) 512-331-1250  
 BUILDER Company Name Probuild Enterprises LLC Telephone (w) \_\_\_\_\_  
 Contact/Applicant's Name Porter Baker Telephone 512-468-8668  
 Contractor NA Pager \_\_\_\_\_ FAX \_\_\_\_\_  
 Telephone NA  
 Name Kirby Walker Telephone \_\_\_\_\_  
 Address 5106 Beverly Skyline City \_\_\_\_\_ ST TX ZIP 78731

I would like to be notified when your application is approved, please select the method:  
 phone  e-mail:

You may check the status of this application at [www.ci.austin.tx.us/development/pierivr.htm](http://www.ci.austin.tx.us/development/pierivr.htm)

D1/16

CITY OF AUSTIN

RESIDENTIAL PERMIT APPLICATION

I understand that in accordance with Sections 25-1-411 and 25-11-66 of the Land Development Code (LDC), non-compliance with the LDC may be cause for the Building Official to suspend or revoke a permit and/or license. I understand that I am responsible for complying with any subdivision notes, deed restrictions, restrictive covenants and/or zoning conditional overlays prohibiting certain uses and/or requiring certain development restrictions (i.e., height, access, screening, etc.) on this property. If a conflict should result with any of these restrictions, it will be my responsibility to resolve it. I understand that, if requested, I must provide copies of all subdivision plat notes, deed restrictions, restrictive covenants, and/or zoning conditional overlay information that may apply to this property.

I acknowledge that this project qualifies for the Site Plan Exemption as listed in Section 25-5-2 of the LDC.

I understand that nothing may be built upon or over an easement. I further understand that no portion of any roof structure may overhang in any public utility or drainage easement.

I acknowledge that customer will bear the expense of any necessary relocation of existing utilities to clear this driveway location and/or the cost to repair any damage to existing utilities caused during construction.

I also understand that if there are any trees greater than 19 inches in diameter located on the property and immediately adjacent to the proposed construction, I am to schedule a Tree Ordinance review by contacting (512) 974-1876 and receive approval to proceed.

I agree that this application will expire on the 181st day after the date that the application is filed if the application is not approved and an extension is not granted. If the application expires, a new submittal will be required.

APPLICANT'S SIGNATURE Porter Baker DATE 27 Apr 11

BUILDER'S STATE REGISTRATION NUMBER (required for all new construction) \_\_\_\_\_

Section Notes/Additional Comments (for office use only): **PERMIT HISTORY:**

Permit # 2000-08803 TIP (BPP-00148563) - 2 story	
frn res w/att, CP-roof tie-ramp-balconies (4-2-1975)	
Permit # 1980-018445 BP-Remodel & 2nd story addn	
bedrm, study & bath (9-12-1980)	
Permit # 2001-013579 BP-Convert carport to garage	
& enclose porch, add windows in garage, repair	
deck (4-2-2001)	

Office Address \_\_\_\_\_  
Official's Signature \_\_\_\_\_ Date \_\_\_\_\_

UPDATED

**BUILDING COVERAGE**

area of a lot covered by buildings or roofed areas, but not including (i) incidental projecting eaves and similar features, or (ii) ground level paving, landscaping, or open recreational facilities.

	Existing		New / Addition	
a. 1 <sup>st</sup> floor conditioned area	1268	sq.ft.	215	sq.ft.
b. 2 <sup>nd</sup> floor conditioned area	1374	sq.ft.	117	sq.ft.
c. 3 <sup>rd</sup> floor conditioned area		sq.ft.		sq.ft.
d. Basement		sq.ft.		sq.ft.
e. Garage / Carport	713	sq.ft.	72	sq.ft.
<input checked="" type="checkbox"/> attached	788	sq.ft.		sq.ft.
<input type="checkbox"/> detached		sq.ft.		sq.ft.
f. Wood decks [must be counted at 100%]		sq.ft.		sq.ft.
g. Breezeways	817	sq.ft.		sq.ft.
h. Covered patios		sq.ft.		sq.ft.
i. Covered porches		sq.ft.		sq.ft.
j. Balconies	24	sq.ft.		sq.ft.
k. Swimming pool(s) [pool surface area(s)]		sq.ft.		sq.ft.
l. Other building or covered area(s)		sq.ft.		sq.ft.
Specify _____		sq.ft.		sq.ft.

**TOTAL BUILDING AREA** (add a. through l.) 2109 sq.ft. 215 sq.ft.  
4984 sq.ft. 404 sq.ft.

**TOTAL BUILDING COVERAGE ON LOT** (subtract, if applicable, b., c., d., k. and f. if uncovered) 2324 sq.ft.  
23 % of lot

**IMPERVIOUS COVERAGE**

side building cover and sidewalks, driveways, uncovered patios, decks, air conditioning equipment pad, and other improvements including impervious cover. Roof overhangs which do not exceed two feet or which are used for solar screening are not included in building coverage or impervious coverage. All water must drain away from buildings on this site and buildings on adjacent lots.

a. Total building coverage on lot (see above)	2324	sq.ft.
b. Driveway area on private property	506	sq.ft.
c. Sidewalk / walkways on private property	16	sq.ft.
d. Uncovered patios	50	sq.ft.
e. Uncovered wood decks [may be counted at 50%] 21 x .5 =	4.09	sq.ft.
f. Air conditioner pads	30	sq.ft.
g. Concrete decks		sq.ft.
h. Other (specify) CONCRETE DRAINAGE	68	sq.ft.

**TOTAL IMPERVIOUS COVERAGE** (add a. through h.) 3403 sq.ft.  
33 % of lot

REVISED  
UPDATED APPLICATION

ce Address 5106 Beverly Skyline

licant's Signature Porter Baker

Date 3 MAY 2011

**II FLOOR AREA AND FLOOR AREA RATIO as defined in the Austin Zoning Code.**

**D1/18**

	<u>Existing</u>	<u>New / Addition</u>
<b>I 1<sup>st</sup> Floor Gross Area</b> 1 <sup>st</sup> floor area (excluding covered or uncovered finished ground-floor porches) 1 <sup>st</sup> floor area with ceiling height over 15 feet. <b>TOTAL (add a and b above)</b>	<u>1268</u> sq.ft. <u>1268</u> sq.ft.	<u>215</u> sq.ft. <u>215</u> sq.ft.
<b>II 2<sup>nd</sup> Floor Gross Area</b> See note 1 below 2 <sup>nd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft) 2 <sup>nd</sup> floor area with ceiling height > 15 feet. <b>TOTAL (add d and e above)</b>	<u>1374</u> sq.ft. <u>1374</u> sq.ft.	<u>117</u> sq.ft. <u>117</u> sq.ft.
<b>III 3<sup>rd</sup> Floor Gross Area</b> See note 1 below 3 <sup>rd</sup> floor area (including all areas covered by a roof i.e. porches, breezeways, mezzanine or loft). 3 <sup>rd</sup> floor area with ceiling height > 15 feet <b>TOTAL (add g and h above)</b>	_____ sq.ft. _____ sq.ft.	_____ sq.ft. _____ sq.ft.
<b>IV Basement Gross Area</b> Floor area outside footprint of first floor or greater than 3 feet above grade at the average elevation at the intersections of the minimum front yard setback line and side property lines.	<u>713</u> sq.ft.	<u>72</u> sq.ft.
<b>V Garage</b> _____ attached (subtract 200 square feet if used to meet the minimum parking requirement) <u>788 - 200 =</u> _____ detached (subtract 450 square feet if more than 10 feet from principal structure)	<u>588</u> sq.ft. _____ sq.ft.	<u>0</u> sq.ft. _____ sq.ft.
<b>VI Carport</b> (open on two or more sides without habitable space above it subtract 450 square feet)	<u>0</u> sq.ft.	<u>0</u> sq.ft.
<b>VII TOTAL</b>	<u>3943</u> sq.ft.	<u>404</u> sq.ft.

**TOTAL GROSS FLOOR AREA (add existing and new from VII above)**

4347 sq. ft.

**GROSS AREA OF LOT**

10240 sq. ft.

**FLOOR AREA RATIO (gross floor area / gross area of lot)** 42.4 sq. ft.

max 4096 ft<sup>2</sup>  
**251 ft<sup>2</sup>**

Second or third floor meets all of the following criteria it is considered to be attic space and is not calculated as part of the overall Gross Floor Area of the structure.  
It is fully contained within the roof structure and the roof has a slope of 3 to 12 or greater  
It only has one floor within the roof structure  
It does not extend beyond the foot print of the floors below  
It is the highest habitable portion of the building; and  
\_\_\_\_\_ percent or more of the area has a ceiling height of seven feet or less.



# Austin Water Utility

## Water & Wastewater Service Plan Verification (W&WW SPV)

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2 D1/19

(Please Print or Type)

Customer Name: PORTER BAKER Phone: 468-8668 Alternate Phone: 292-0640

Service Address: 5106 Beverly Skyline

Block: \_\_\_\_\_ Subdivision/Land Status: \_\_\_\_\_ Tax Parcel ID No.: \_\_\_\_\_

Existing Use: vacant single-family res. duplex garage apartment other \_\_\_\_\_  
(one)

Proposed Use: vacant single-family res. duplex garage apartment other \_\_\_\_\_  
(one)

Number of existing bathrooms: 3 Number of proposed bathrooms: 3.5 to 4

Installation of a pressurized auxiliary water system (i.e. rainwater harvesting, well water, lake/river water, etc.) Yes \_\_\_\_\_ No

City of Austin Office Use

Service Main size: 6" Service stub size: 3/4" Service stub upgrade required? NO New stub size: \_\_\_\_\_

Meter number: 103038 Existing Meter size: 5/8" Upgrade required? Yes New size 3/4"

Service: Septic System/On-Site Sewage Facility (OSSF) \_\_\_\_\_ or WW Collection System  WW Main size: 8"

If a pressurized auxiliary water system is or will be installed, please contact the Utility's Special Services Division (SSD) at 972-1060, 3907 South Industrial Blvd., Suite 100 for consultation and approval.

Pressurized Auxiliary Water (if applicable) Approved by SSD (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

Approved:  Yes (see attached approved documents)  No

If the site has an OSSF, please contact Utility Development Services (UDS) at 972-0210 or 972-0211, Waller Center, 625 E. 10<sup>th</sup> Street, Suite 715 for consultation and approval.

WSPV Completed by (Signature & Print name) \_\_\_\_\_ Date \_\_\_\_\_ Phone \_\_\_\_\_

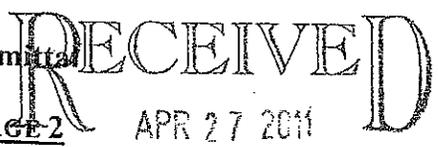
(if applicable) Approved by UDS (Signature & Print name) \_\_\_\_\_ Date 4/27/11 Phone \_\_\_\_\_  
 Representative \_\_\_\_\_ Date \_\_\_\_\_ Phone 974-8734

Approved:  Yes (see attached approved documents)  No

Note: For residential plan review, this original stamped "approval" must be submitted with the stamped "original" floor plan.

Verification expires 180 days after date of Submission

PLEASE READ IMPORTANT INSTRUCTIONS ON PAGE 2



# WATER SERVICE PERMIT

E No

6299

416

Austin, Texas

3606

D1/20

Received of 5201-3608

Date 10-10-55

Address Lucas Dr. Lots # 36-37, B/LK-B (Beverly Hills, Sec. 2)

Amount

Plumber (2" c.i. stub) See E# 6298

Size of Tap 2"

Date of Connection \_\_\_\_\_  
 Size of Tap Made 2"  
 Size Service Made 1"  
 Size Main Tapped 6"  
 From Front Prop. Line to Curb Cock \_\_\_\_\_  
 From Prop. Line to Curb Cock \_\_\_\_\_  
 Location of Meter \_\_\_\_\_  
 Type of Box Lock  
 Depth of Main in St. 2.5'  
 Depth of Service Line 11  
 From Curb Cock to Tap on Main 7'  
 Checked by Engr. Dept 2-20-56 *RD*

No. Fittings	Size
1	6" x 1/2" Tee
	Comp. Curb Tee
	Elbow
2	St. Elbow 2 1/2" x 1"
	Bushing 2 1/2" x 1"
2	Reducer
	7' Pipe 2" c.i. pipe
	Lead Comp
	Nipples
1	Union Sleeve 2" c.i.
2	Plug Cap to Irons 1"
1	Tee 1 1/2" c.i.
2	Stop
2	Box Single
2	Lid 1"
	Valves
	Job No. 12,322,1-2986
	Req. No. Contract

*Brewster*

INDEXED

See E# 6298



# Tree Ordinance Review Application

Planning and Development Review Department  
One Texas Center, 505 Barton Springs Road, 4th floor  
Phone: (512) 974-1876 Fax: (512) 974-3010  
Email: Michael.Embese@ci.austin.tx.us Website: [www.ci.austin.tx.us/trees](http://www.ci.austin.tx.us/trees)

ROW I.D. 10580448  
Mapscs Grid 5244

D1/21

Application request\* (specify all that apply):

- Tree removal
- Development exceeding allowable standards for encroachment in the tree's critical root zone;
- Removal of more than 30% of a tree's crown.

\* Refer to Land Development Code 25-8 (B)(1) and Environmental Criteria Manual (Section 3, App. F). Applicant understands that all impacts may threaten the health of the tree and that approval of this application does not guarantee favorable tree results.

Address and zip code of property: 5106 Beverly Skyline

Name of owner or authorized agent: Kitby Walker

Building permit number (if applicable): 2011029353

Telephone #: 468-8668 Fax #: \_\_\_\_\_ E-mail: \_\_\_\_\_

Type of Tree: unknown Tree location on lot: \_\_\_\_\_

Trunk size (in inches) at 4 1/2 feet above ground: circumference (around) \_\_\_\_\_ or diameter (across) \_\_\_\_\_

General tree condition:  Good /  Fair /  Poor /  Dead all less than 19"

Reason for request: ARVRA canopy view near site

Porter Baker 8 MAY 11

Owner/ Authorized Agent Signature \_\_\_\_\_ Date \_\_\_\_\_

- o Proposed development projects should include an aerial drawing that includes the location of the tree and planned improvements (e.g. structure, driveway, utility and irrigation lines).
- o This application is reviewed for tree impacts only; not for zoning or other applicable regulations. Payment (\$25 check to the City of Austin) must be made prior to City personnel completing this application. No fee is required for dead or diseased trees.

### Application Determination -- To be completed by City Arborist Program Personnel

- Approved
- \*Approved With Conditions
- Denied
- Statutory Denial (more information required)

Comments: No DEVELOPMENT PLANS SUPPLIED IN DRAWING. No Trees Larger Than 19-Inches

Heritage Tree(s)  A heritage tree variance is required:  Administrative /  Land Use Commission

Conditions of Approval:  None or  As described within Arborist Comments (see above); and

- Applicant agrees to plant \_\_\_\_\_ caliper inches of container grown City of Austin Appendix F trees on the lot prior to obtaining a final inspection (if applicable). Trees are to have a minimum 2-inch trunk diameter. Examples include Oaks, Cedar Elm, Bald Cypress, Dessert Willow, Mountain Laurel, Texas Persimmon, Mexican Plum, etc.
- Prior to development, applicant agrees to supply an 8-inch root zone mulch layer and maintain tree protection fencing (chain-link, five-foot in height) throughout the project duration.
- Provide a receipt for remedial tree care and / or any required pruning as performed by a certified arborist.
- No impacts are permitted within the tree 1/2 Critical Root Zone (ECM 3.52), including trenching for utilities.

Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_

City Arborist Signature [Signature] Date 10 MAY 11

Post this document on site while any proposed work is in progress.  
Conditions for approval of this application must be met within 1 year of the effective date.

Jim Gohl or Michael Embese 4th Floor

01/22

Revised Copy

DEVELOPER  
 KERRY & MAUREEN WALKER  
 5106 BEVERLY SKYLINE  
 AUSTIN, TEXAS 78731  
 P# 512.789.2334

CIVIL ENGINEER  
 GEORGE I. ENGINEERING CO.  
 GEORGE A. GONZALEZ, P.E.  
 3005 HONES ROAD, SUITE E  
 PLUMAS, TEXAS 78745  
 P# 512.789.2346  
 F# 512.789.2305

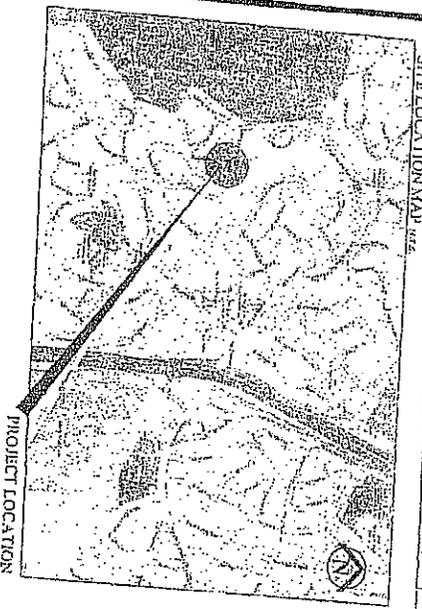
PROPOSED NEW ADDITION TO SINGLE FAMILY RESIDENCE

**BUILDING COVERAGE**

Area	Area	Area	Area
Existing	2,150 sq. ft.	Proposed	3,327 sq. ft.
Maximum	5,475 sq. ft.	Maximum	5,475 sq. ft.

**AREAS UNDER COVERAGE**

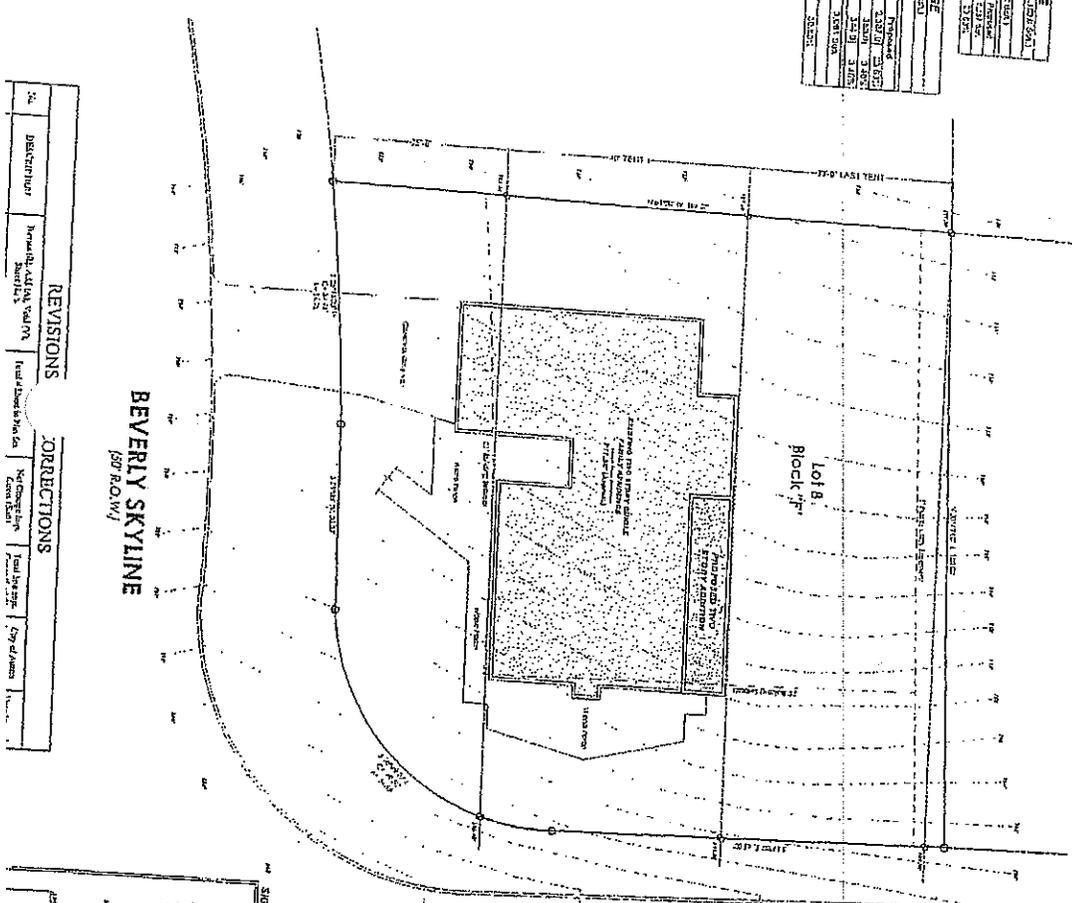
Area	Area	Area	Area
Existing	2,150 sq. ft.	Proposed	3,327 sq. ft.
Maximum	5,475 sq. ft.	Maximum	5,475 sq. ft.



5106 BEVERLY SKYLINE  
 AUSTIN, TEXAS 78731

**SHEET INDEX**

Description	Page
COVER SHEET AND SITE PLAN	CE 1 OF 8
EXISTING FLOOR PLANS	CE 2 OF 8
DEMOLITION-TEMP SHORING PLAN	CE 3 OF 8
PROPOSED FLOOR PLANS	CE 4 OF 8
ADDITION FOUNDATION PLAN AND DETAILS	CE 5 OF 8
FRAMING PLAN	CE 6 OF 8
MECHANICAL PLAN	CE 7 OF 8
REAR BUILDING ELEVATION	CE 8 OF 8



**REVISIONS**

No.	Description	Revised by	Checked by	Date

**CORRECTIONS**

No.	Description	Revised by	Checked by	Date

SCALE  
 1" = 30'

**SIGNATURES BLOCK**

**SITE PLAN**  
 Scale: 1" = 30'

*George A. Gonzalez*  
 CIVIL ENGINEER  
 No. 123456789  
 State of Texas

*Kerry & Maureen Walker*  
 DEVELOPER

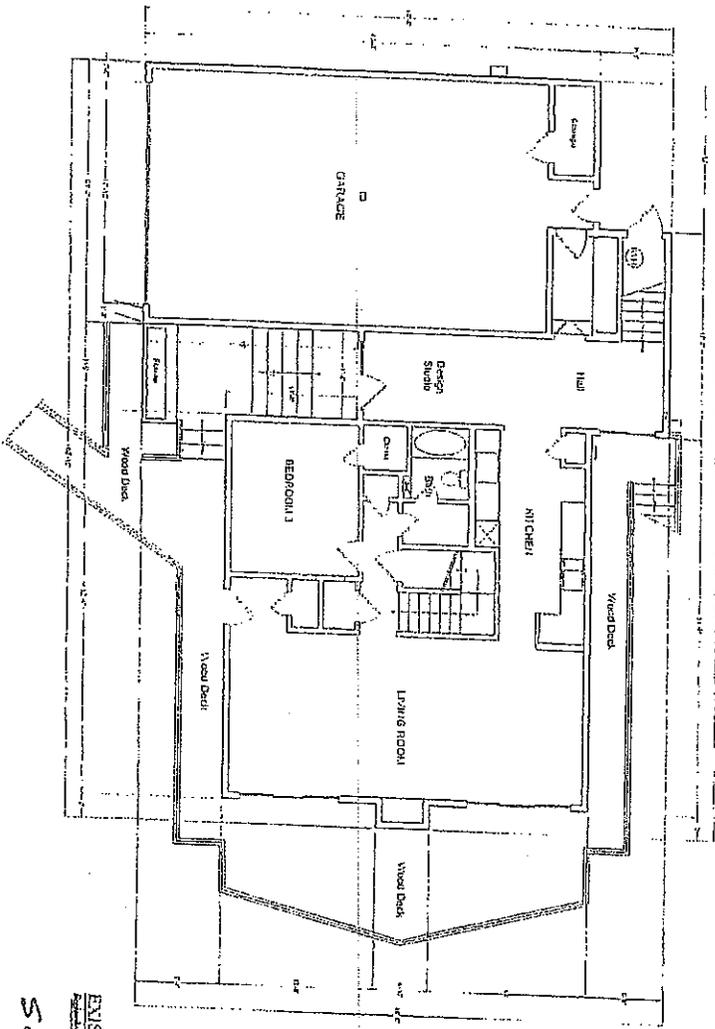
**VERSION 2.10**

**G/E**  
 George I. Engineering Co.  
 3005 HONES ROAD, SUITE E  
 PLUMAS, TEXAS 78745  
 P# 512.789.2346  
 F# 512.789.2305

**YE & MAUREEN WALKER**  
 5106 BEVERLY SKYLINE  
 AUSTIN, TEXAS 78731

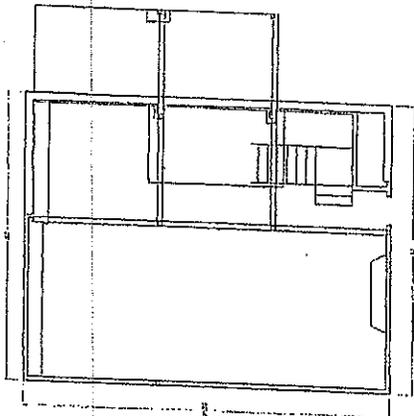
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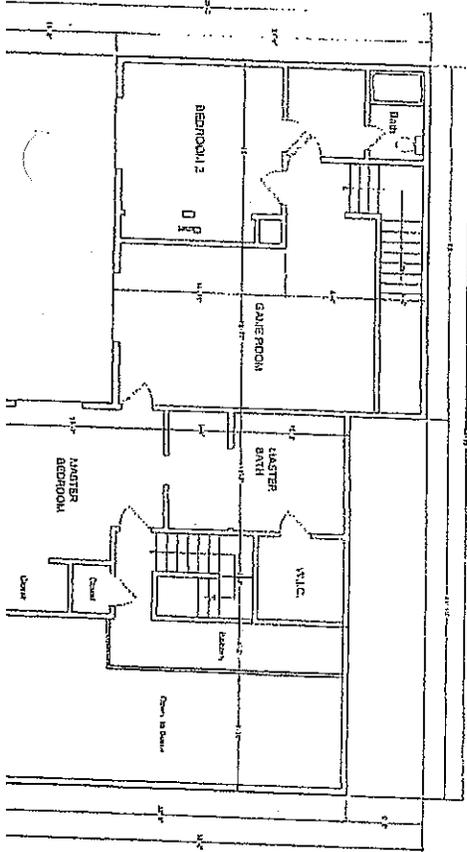


EXISTING LOWER LEVEL PLAN

SCALE 1/16" = 1'



BASEMENT



VERSION 2.10

10	Project/Issue	to

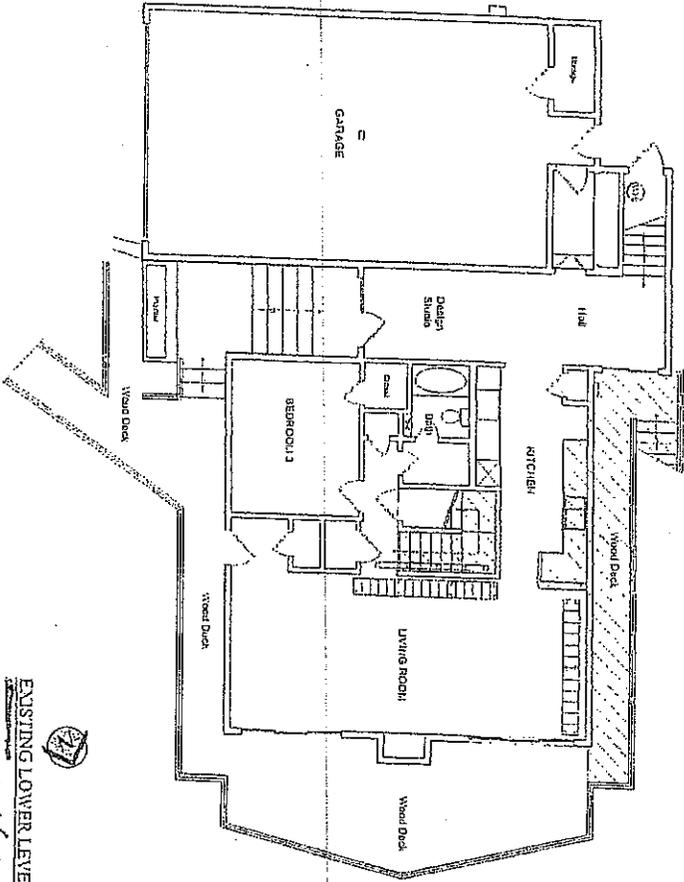
G/E  
 CONSULTING ENGINEERING COMPANY  
 7305 Rockwood Plaza, Suite 200  
 Dallas, Texas 75248  
 (214) 399-2300 Fax  
 g@ge.com

PROPOSED NEW ADDITION TO  
 EXISTING FAMILY RESIDENCE  
 EDNEY & ANDERSON WAY/200

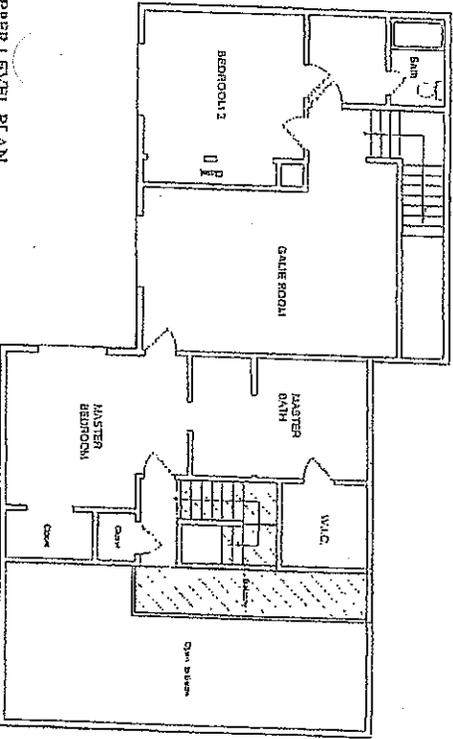
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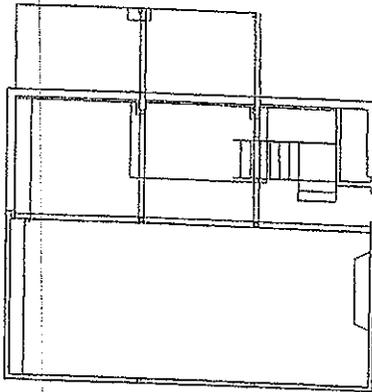
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EXISTING LOWER LEVEL PLAN  
SCALE 1/16" = 1'



EXISTING UPPER LEVEL PLAN



BASEMENT  
Scale 1/16" = 1'

**LEGEND:**  
 --- DEMOLISH WALL OR SECTION  
 --- SHORING SYSTEM NO. 1  
 --- SHORING SYSTEM NO. 2

**DEMOLITION NOTES:**

1. Contractor shall physically segregate work areas from balance of structure.
2. Homeowner, design engineer, and contractor shall hold a pre-construction meeting prior to the start of construction.
3. Contractor shall maintain strict control and maintain secure work area during entire construction period.
4. Contractor shall verify all physical conditions and immediately report any discrepancies to the Owner's and the design engineer for resolution.
5. At the onset of the demolition phase of construction, contractor shall ensure removal of selected areas of existing drywall joints for verification of existing framing conditions and make necessary adjustments for proposed framing.
6. The design engineer, with concurrence from the owner, will direct the general contractor to the reworking of the foundation of the existing system at different locations throughout the work zone at different house levels.
7. The shoring system shall be installed in strict accordance to the manufacturer's instructions and guidelines and shall bear all safety restrictions on a support base.
8. Once all shoring system components are in place, the general contractor shall proceed to remove the following items:
  - a. existing sheet rock drywall panels in all affected areas
  - b. wood trim, where indicated by the construction
  - c. kitchen cabinets
  - d. plumbing fixtures
  - e. wood framing that needs to be removed to facility

**TEMPORARY SHORING SYSTEM:**

1. General Contractor shall utilize the following temporary shoring system:
  - Silbury Scolding and Shoring System
  - 8x7x8 US Highway 200 Beam
  - Avulch, Texas 75724
  - (817) 929-0012 Office
  - (817) 929-0017 Fax
  - www.avulch.com
2. General contractor shall contact Silbury for additional or approved plans for estimate of needed system.
3. General contractor, with the approval of the design engineer, may use other equivalent system.
4. After all temporary system components are delivered to the jobsite, the general contractor shall consult with the design engineer for exact installation location of the components and the design engineer will approve the final installation of the temp. shoring system.

**System 1:**

This system will consist of wood planks supported by screw jacks (6 in) placed at strategic locations at the existing subwall (level of two house levels) to support adjacent upper ceiling.

**System 2:**

This system will consist of aluminum scaffolding system to a total ceiling height of the bottom of the cathedral ceiling at the existing main living room to support adjacent ceiling of the living room.



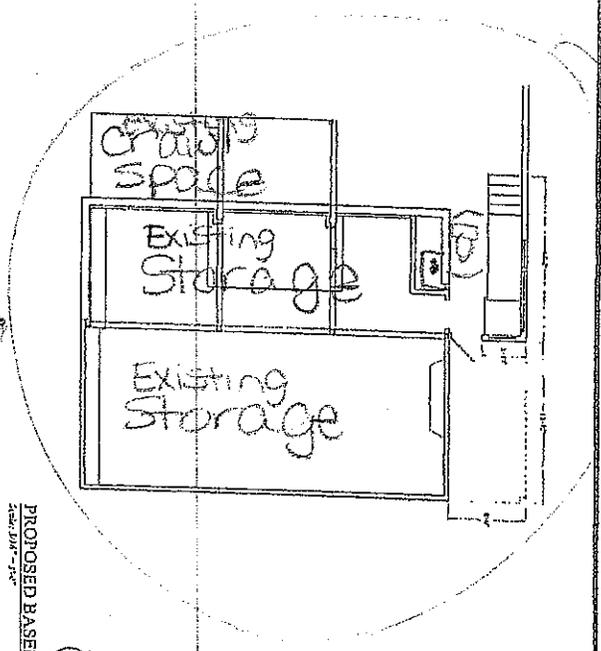
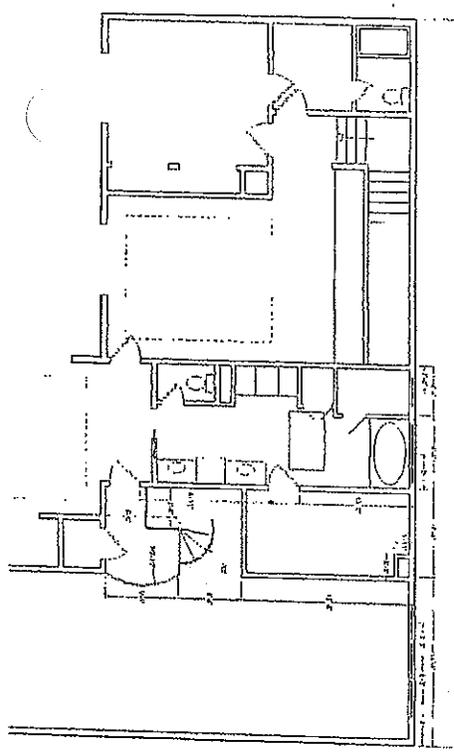
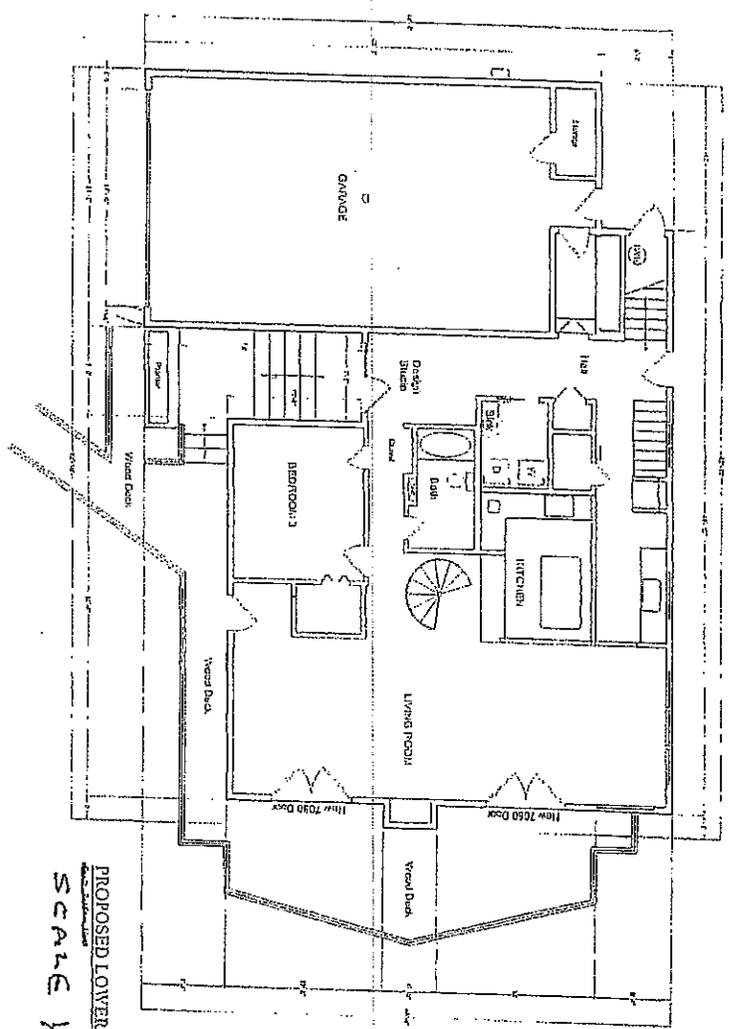
VERSION 2.10

G/E  
 General & Engineering Company  
 2405 West Loop West, Suite 112  
 Dallas, Texas 75220  
 (412) 892-2010 Fax  
 (412) 892-2010 Office  
 Email: g@ge.com  
 www.ge.com

PROPOSED NEW ADDITION  
 EXISTING FAMILY RESIDEN  
 KIRBY & MAUDERN WALKER  
 406 BAYBERRY SCULINE  
 AUSTIN, TEXAS 78721  
 AU-10-172

DI/25

# Revised Copy



VERSION 2.10

**G/E**

Geometric Engineering Company  
 1001 E. 1st Street, Suite 200  
 2105 Pine Brook, Suite 200, Austin, TX 78741  
 (512) 892-2200 Office  
 (512) 892-2200 Fax  
 www.ge.com

PROPOSED NEW ADDITION TO  
 EXISTING FAMILY RESIDENCE

KERRY & MAUREEN WALLEN

314 JENNIFER SQUARE  
 AUSTIN, TEXAS 78701

AL-10-172 PD 4





D1/27

VESTVIEW DR

RIDGEMOOR DR

UNKNOWN

5009

5100

5007

5

5006

5102

5106

5103

5104

5105

510

Map  
Traffic



D/28



Report a problem



Report a problem

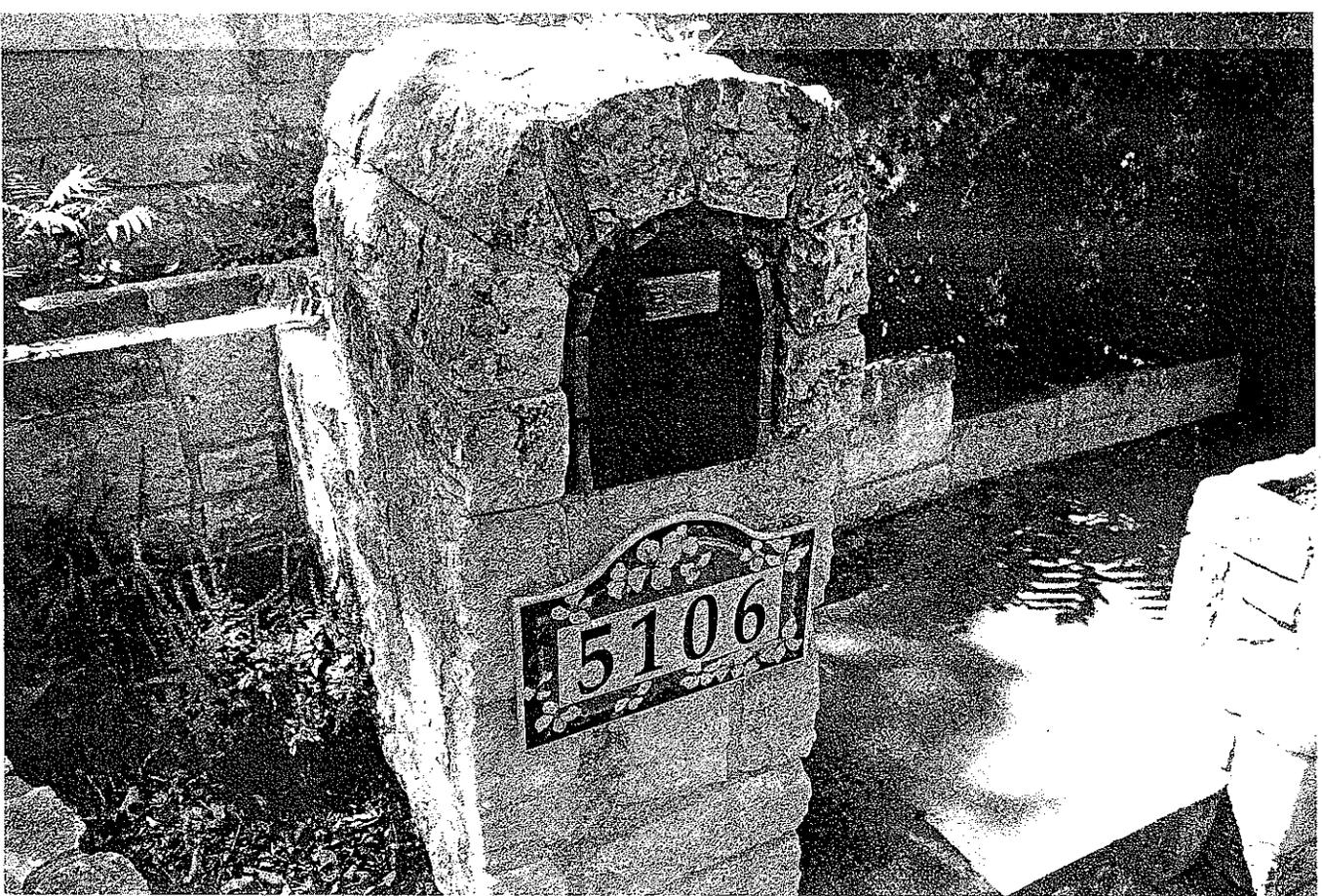
Report a problem



04/29

© 2011 Google





D/31

ABOVE: 5106 Beverly Skyline – the subject property  
BELOW: Street view of 5106 Beverly Skyline at the front entrance.



D1/  
32



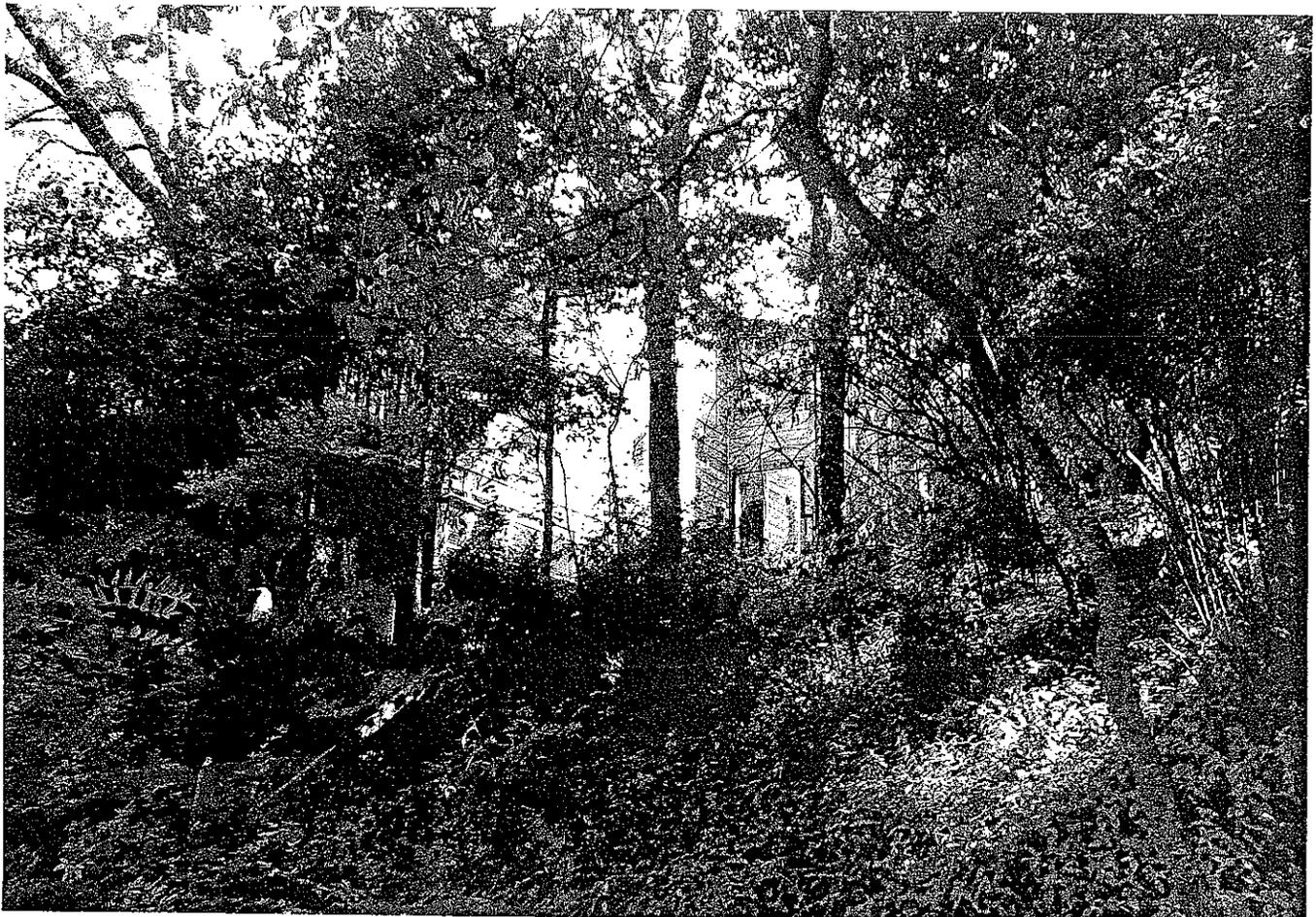
ABOVE: 5106 Beverly Skyline from the street on the side of the house  
BELOW: 5106 – the only view from the street of the side where the addition will occur.

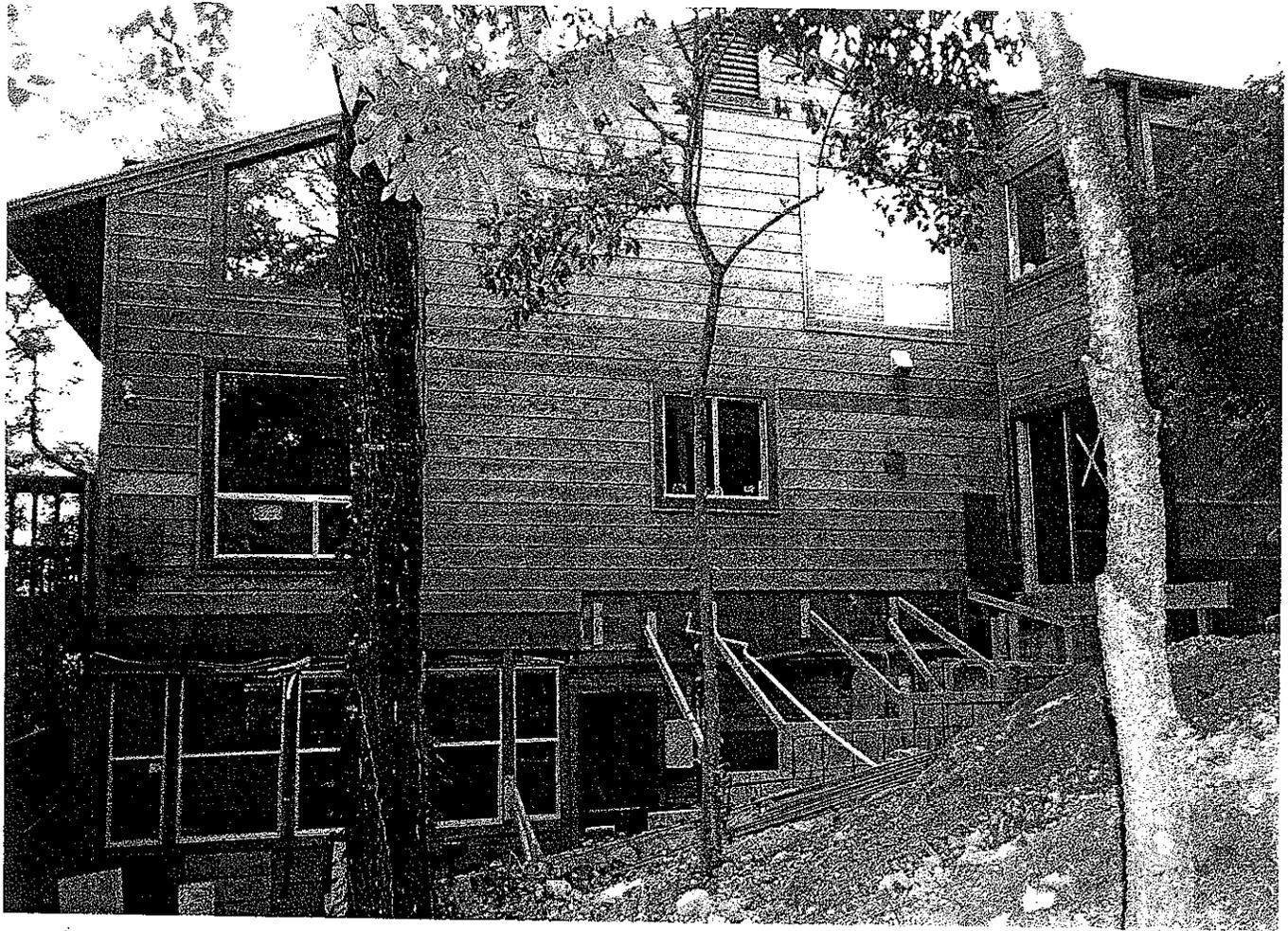


DV  
/23



ABOVE: 5106 Beverly Skyline from the street on the side of the house  
BELOW: 5106 – the only view from the street of the side where the addition will occur.

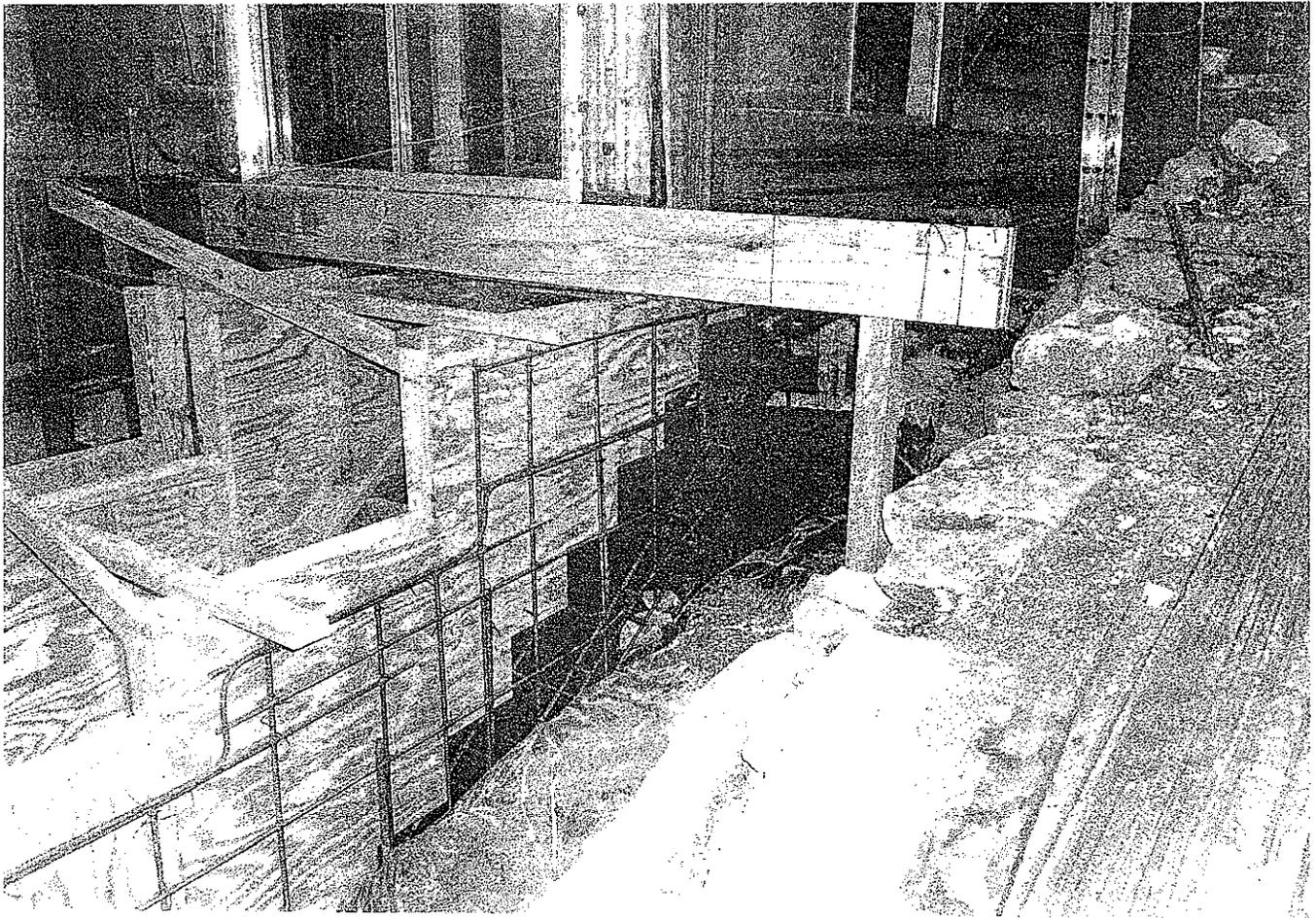




BASEMENT

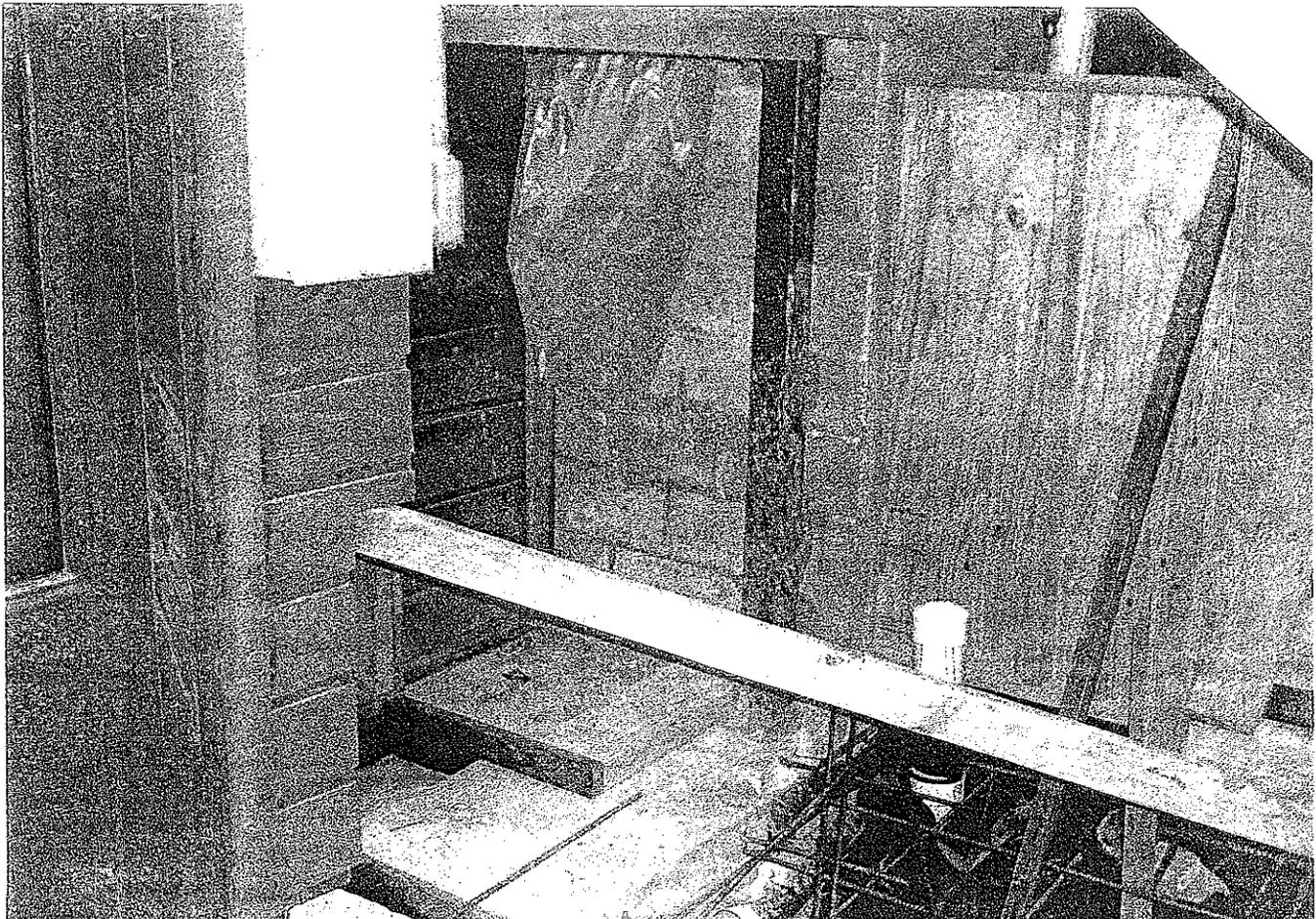
D1/34

ABOVE: 5106 – the side where construction started showing the basement windows & door on one side and the stairwell that was formed. The addition will fill in the area from the left corner to the right sliding door on the first and second floor. The basement windows will remain exposed under the living space addition above.



ABOVE: 5106 -The partially completed concrete stair down to the yard and basement.  
BELOW: The area of the convenience half bath at the bottom of the stairwell (which is to the right). The cinder block wall is a retaining wall for the basement. The plumbing pipe is the toilet pipe.

D1/35





ABOVE & BELOW: 5106 - The existing basement showing it's use as storage space.

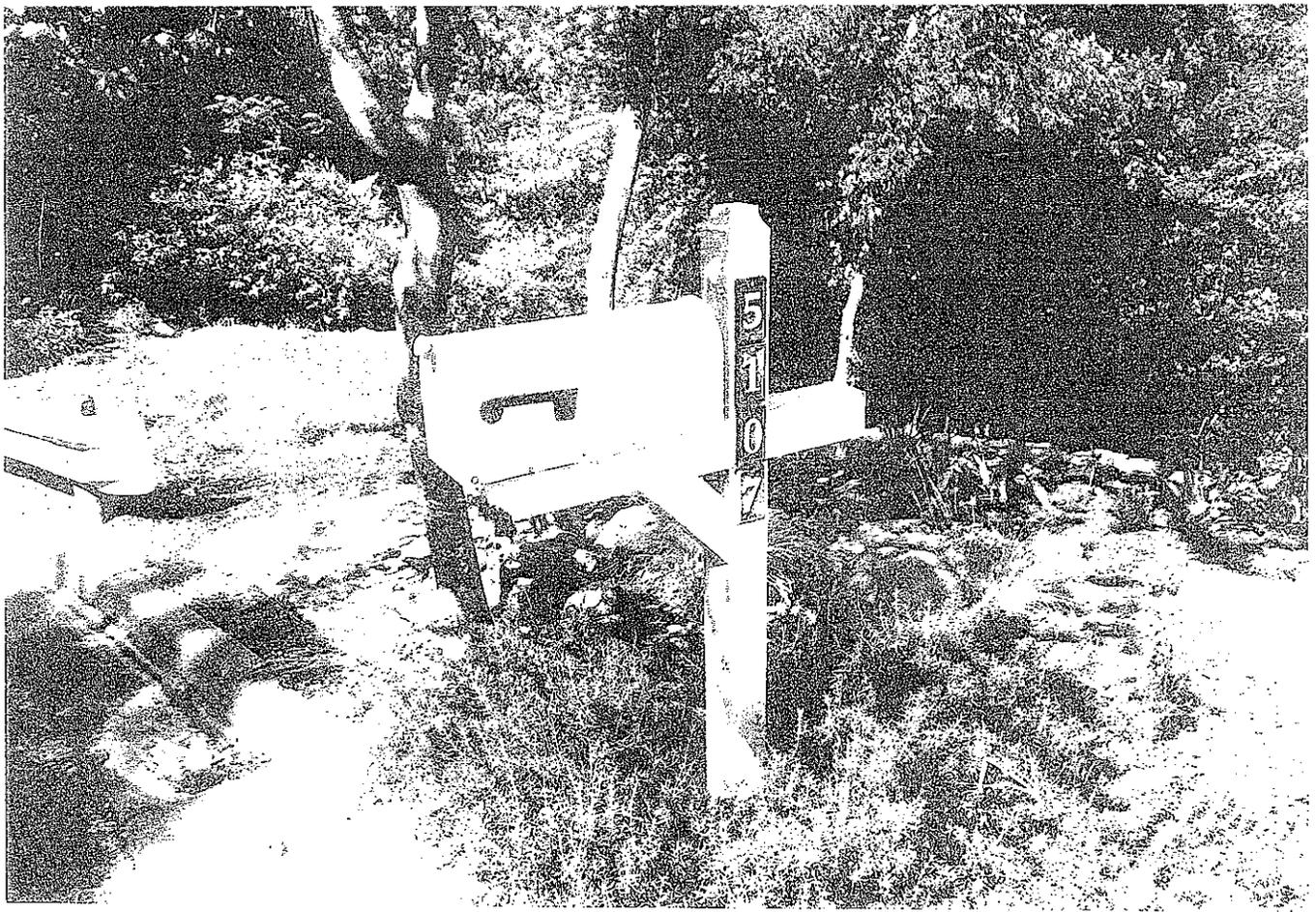
D1/36





ABOVE: 5106 - The garage (below the first floor) windows just above grade (about 2 ft of garage wall showing.)

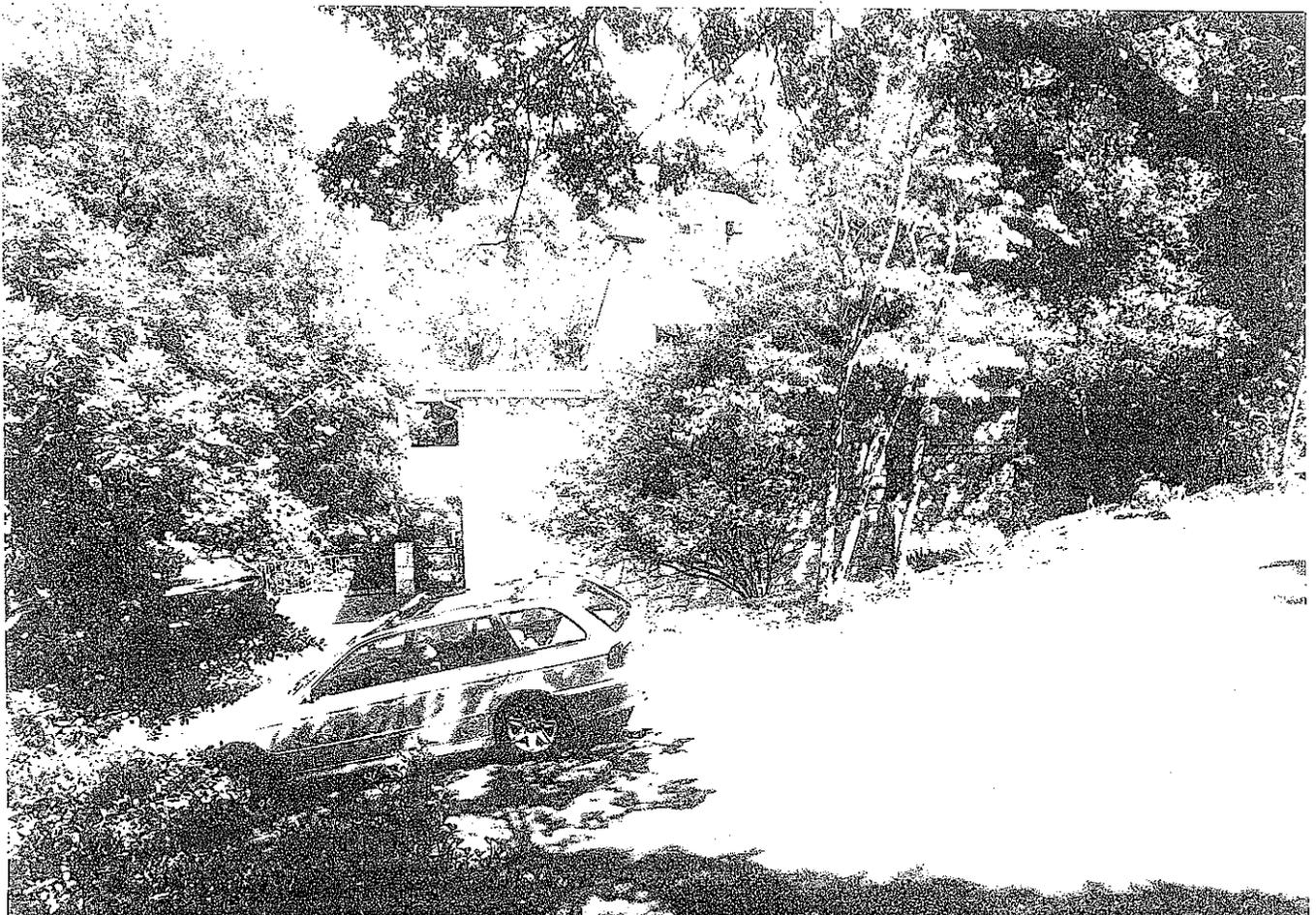
D1/37



ABOVE: 5107 Beverly Skyline

BELOW: 5107 Beverly Skyline – the front view of the house across the street.

D/38



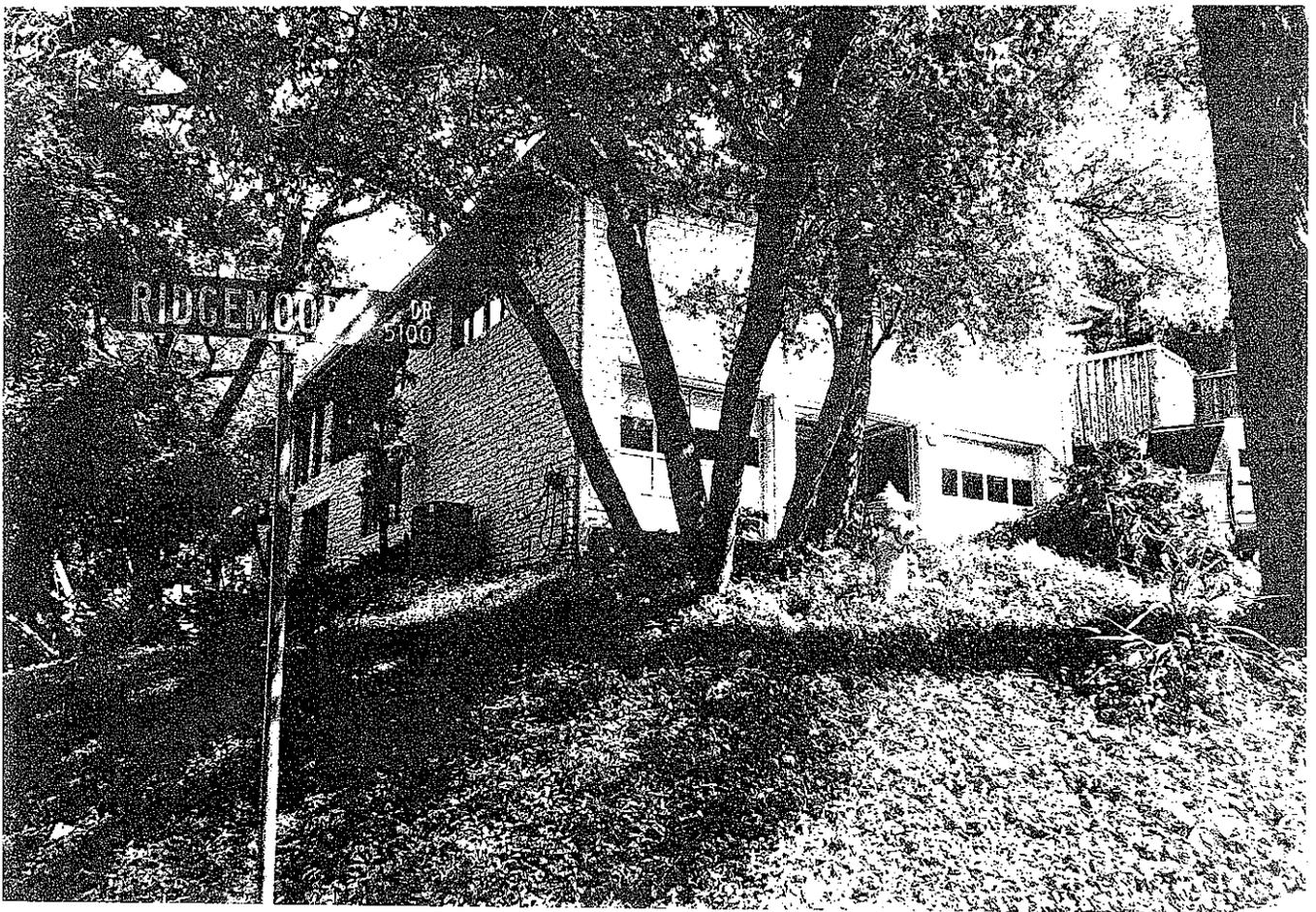


ABOVE: 3603 Lucas

BELOW: 3603 Lucas front view at street level. This is the house next door.

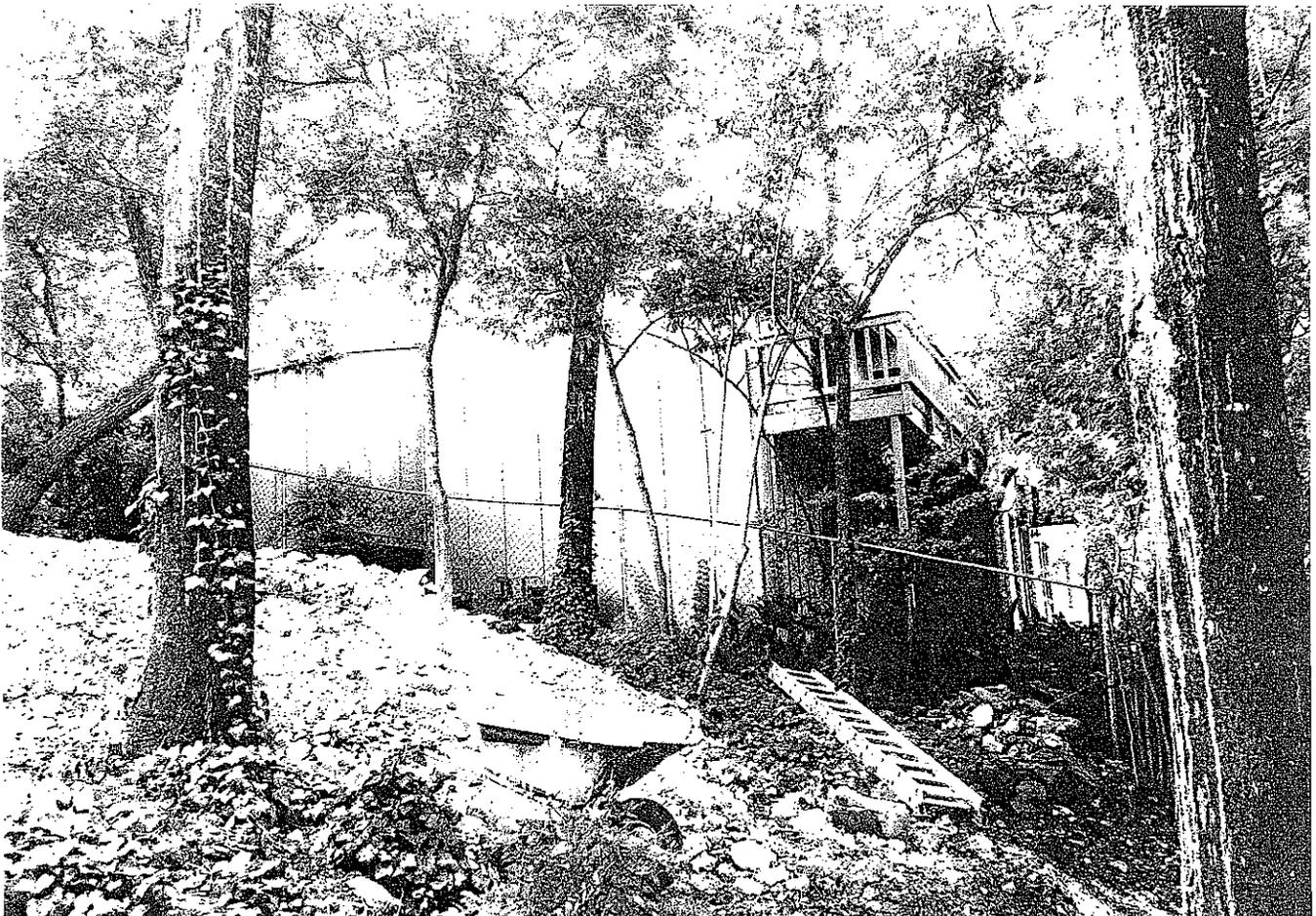
D1/39





ABOVE: 3603 Lucas from the view at the corner looking at the front & garage side  
BELOW: 3603 Lucas, the house next door, showing the wall without windows facing the proposed construction on the side of 5106 Beverly Skyline.

b1/40



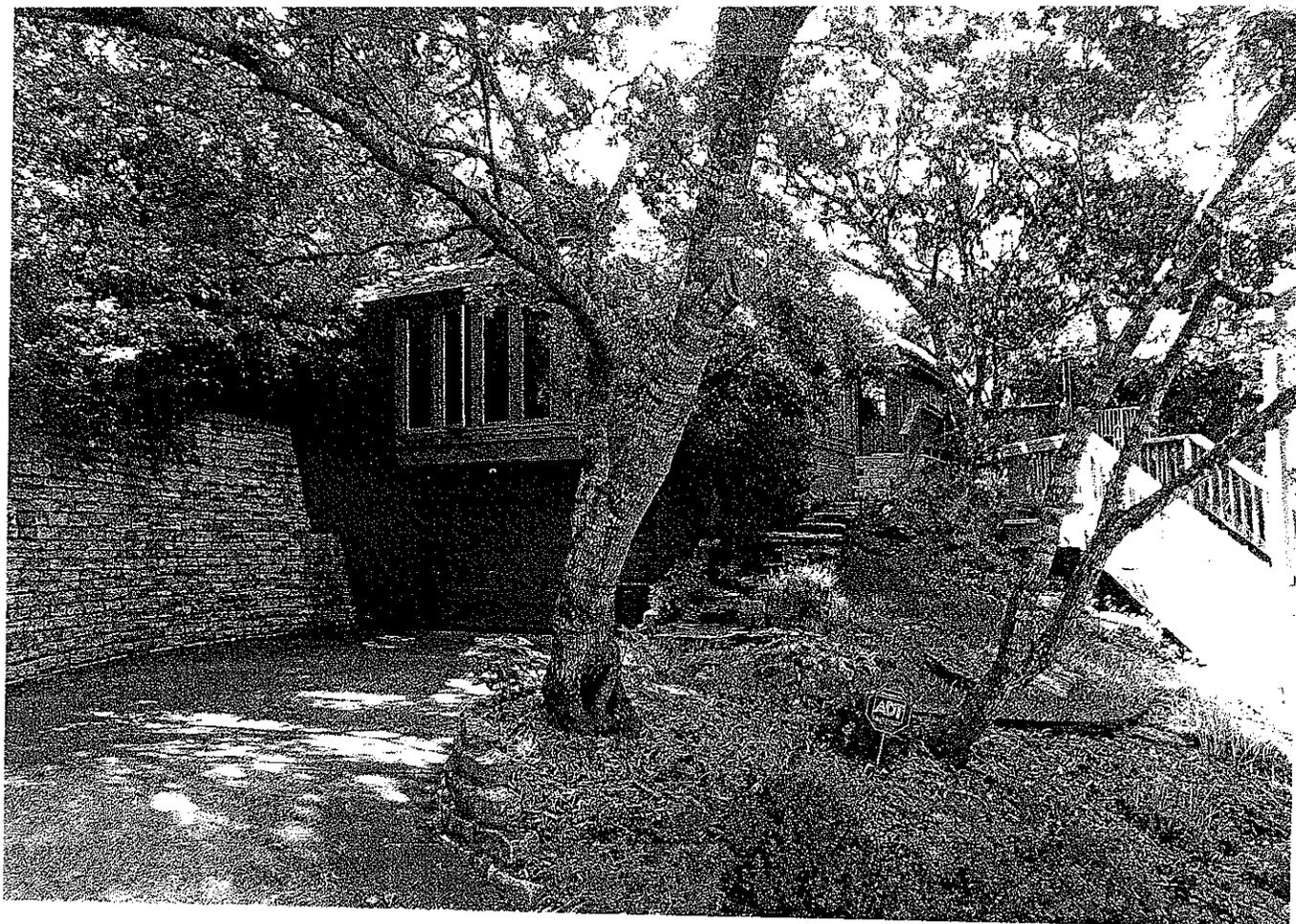


ABOVE: 5104 Beverly Skyline

BELOW: The front view of 5104 Beverly Skyline, the house next door.

D1/41





ABOVE: 5104 Beverly Skyline – (next door) the view of the garage below the house living area.

D1/42

D/43

Residences within 300 Feet of 5106 Beverly Skyline

Resident	Address	Lot Size (SF)	Living Area	Tax Records				Total	FAR	Allowable Building Area (40% of Lot Size)
				Garage	Basement or Att. Storage	Covered Porch				
Walker (existing)	5106 Beverly Skyline	10,241	2,642	788	713	24	4,167	40.7%	4,096	
Walker (proposed)		10,241	3,046	788	713	24	4,571	44.6%	4,096	
Barrett	5104 Beverly Skyline	10,376	3,115	540		44	3,699	35.6%	4,150	
Flowers	5107 Beverly Skyline	17,359	3,220	550		216	3,986	23.0%	6,943	
Robinson	3600 Lucas Dr	32,635	3,332	434		280	4,046	12.4%	13,054	
Habitzeiter	3603 Lucas Dr	10,441	3,281	630			3,911	37.5%	4,177	
Sanders	3602 Lucas Dr	12,192	2,350	430	96	76	2,952	24.2%	4,877	
Doyle	3604 Lucas Dr	12,301	3,093	400		8	3,501	28.5%	4,921	
Caramelli	3605 Lucas Dr	11,583	2,478	504		384	3,366	29.1%	4,633	
Pacheco	5105 Beverly Skyline	14,575	1,832	576		144	2,552	17.5%	5,830	
Hecker	5103 Beverly Skyline	16,967	1,487	456	120	328	2,391	14.1%	6,787	
Higgins	5100 Beverly Skyline	???	2,436	607		136	3,179	n/a	n/a	
Kadens	5101 Beverly Skyline	18,043	2,164	420		304	2,888	16.0%	7,217	
McPhillips	5005 Beverly Skyline	22,416	3,322	768		954	5,044	22.5%	8,966	
Weber	5101 Ridgemoor Dr	9,409	2,228	441	72	362	3,103	33.0%	3,764	
Sackett	5102 Ridgemoor Dr	10,820	3,042	464	108		3,614	33.4%	4,328	
Keig	5103 Ridgemoor Dr	11,038	3,384	462		578	4,424	40.1%	4,415	
Jones	5100 Ridgemoor Dr	10,026	2,437	480	120		3,037	30.3%	4,010	

D1/44

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately next door to the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

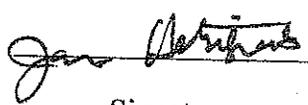
It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Ron Habitzreiter  
3603 Lucas Drive

  
Signature

4/30/11  
Date

Jan Habitzreiter  
3603 Lucas Drive

  
Signature

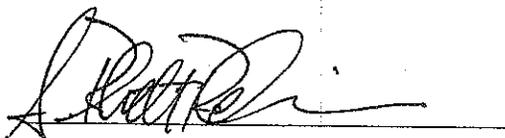
4/30/11  
Date

D/45

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately across the street on the Lucas Drive side from the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Rhett Robinson  
3600 Lucas Drive

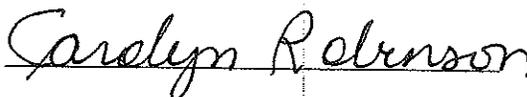


Signature

4-30-11

Date

Carolyn Robinson  
3600 Lucas Drive



Signature

4.30.11

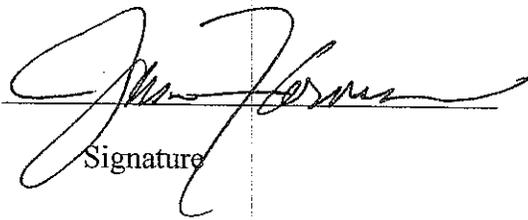
Date

D1/46

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately across the street from the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

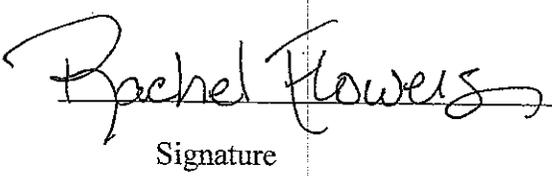
Jason Flowers  
5107 Beverly Skyline



Signature

5.1.2011  
Date

Rachel Flowers  
5104 Beverly Skyline



Signature

5/1/2011  
Date

D1/47

Our neighbors, Kirby and Maureen Walker, are in the process of a small addition and remodel of their home at 5106 Beverly Skyline. I have reviewed their plans for the addition/remodel and found it consistent with existing housing in our neighborhood. We believe that their remodel plans will enhance the look of the neighborhood and it will not impair any use of my nearby property. We live immediately next door to the Walkers and we have no objection to their variance request regarding the maximum building to lot area ratio.

It is our understanding that their permit was approved on April 8, 2011, but now requires a variance due to total square footage. Because the permit had been approved, the demolition and work had already begun. Thank you for helping to expedite their request so that their property will not remain an unfinished construction site any longer than necessary.

Michael Barrett



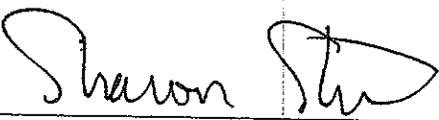
5/1/11

5104 Beverly Skyline

Signature

Date

Sharon Strover



5/2/11

5104 Beverly Skyline

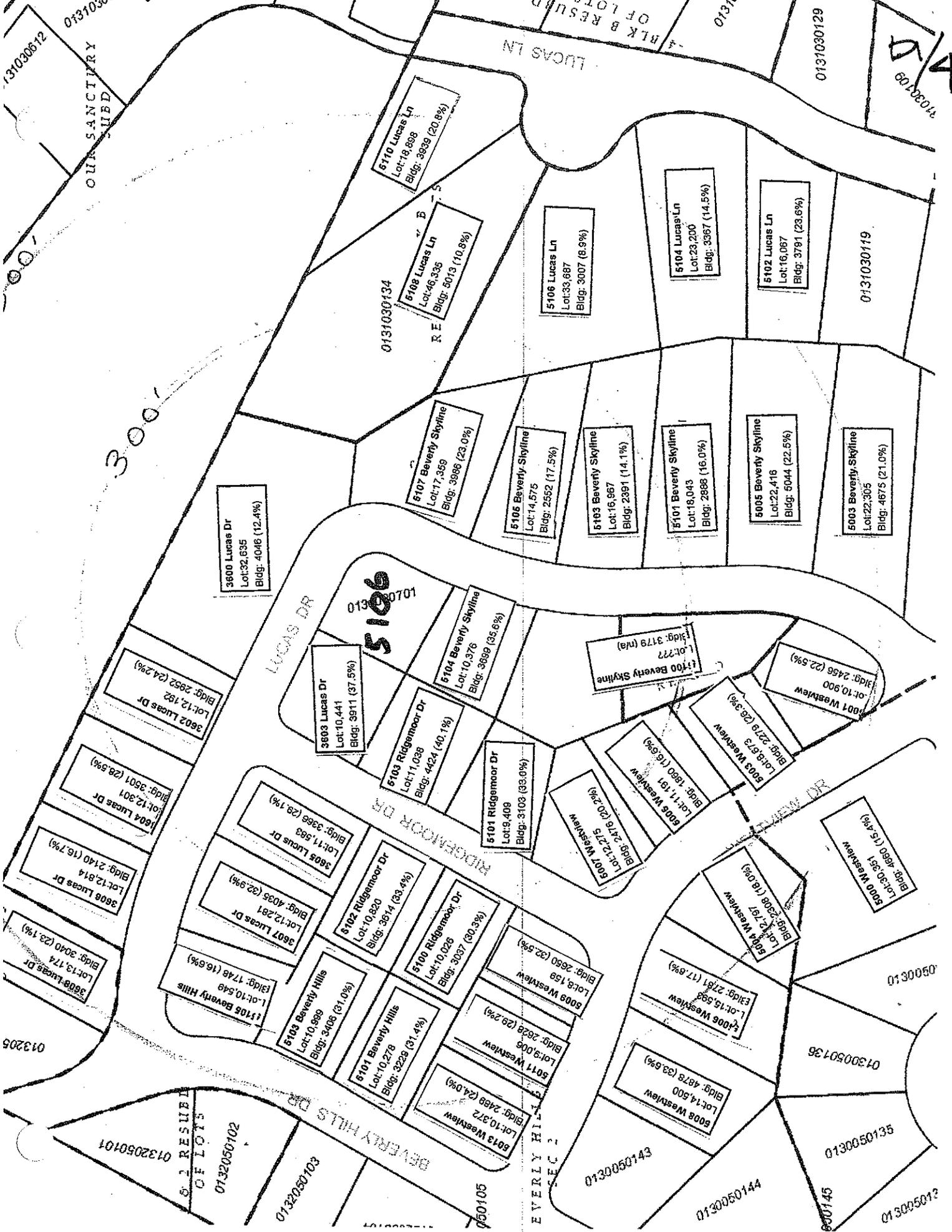
Signature

Date

0/48  
0131030129

013103012  
OUR SANCTUARY  
0131030129

LUCAS LN  
BANK & RESURD  
OF LOTS



3600 Lucas Dr  
Lot: 32,635  
Bldg: 4046 (12.4%)

0131030134

5110 Lucas Ln  
Lot: 18,888  
Bldg: 3929 (20.8%)

5108 Lucas Ln  
Lot: 46,335  
Bldg: 5013 (10.8%)

5106 Lucas Ln  
Lot: 33,687  
Bldg: 3007 (8.9%)

5104 Lucas Ln  
Lot: 23,200  
Bldg: 3367 (14.5%)

5102 Lucas Ln  
Lot: 16,087  
Bldg: 3781 (23.6%)

0131030119

5107 Beverly Skyline  
Lot: 17,359  
Bldg: 3988 (23.0%)

5106 Beverly Skyline  
Lot: 14,575  
Bldg: 2552 (17.5%)

5103 Beverly Skyline  
Lot: 16,967  
Bldg: 2391 (14.1%)

5101 Beverly Skyline  
Lot: 18,043  
Bldg: 2888 (16.0%)

5095 Beverly Skyline  
Lot: 22,416  
Bldg: 5044 (22.5%)

5003 Beverly Skyline  
Lot: 22,305  
Bldg: 4675 (21.0%)

300

LUCAS DR

5106

3602 Lucas Dr  
Lot: 12,192  
Bldg: 2852 (24.2%)

3604 Lucas Dr  
Lot: 12,301  
Bldg: 3501 (28.5%)

3608 Lucas Dr  
Lot: 12,814  
Bldg: 2140 (16.7%)

3608 Lucas Dr  
Lot: 13,174  
Bldg: 3040 (23.1%)

3603 Lucas Dr  
Lot: 10,441  
Bldg: 3911 (37.5%)

5103 Ridgemoor Dr  
Lot: 11,038  
Bldg: 4424 (40.1%)

5101 Ridgemoor Dr  
Lot: 9,409  
Bldg: 3103 (35.0%)

5100 Beverly Skyline  
Lot: 17,379 (n/a)

5001 Westview  
Lot: 10,900  
Bldg: 2456 (22.5%)

5005 Westview  
Lot: 11,191  
Bldg: 1850 (16.9%)

5003 Westview  
Lot: 12,275  
Bldg: 2718 (20.2%)

5001 Westview  
Lot: 12,797  
Bldg: 2208 (18.0%)

5000 Westview  
Lot: 15,456  
Bldg: 4563 (15.4%)

3605 Lucas Dr  
Lot: 1,583  
Bldg: 3368 (29.1%)

5102 Ridgemoor Dr  
Lot: 10,820  
Bldg: 3514 (33.4%)

5100 Ridgemoor Dr  
Lot: 10,026  
Bldg: 3037 (30.3%)

8009 Westview  
Lot: 8,159  
Bldg: 2650 (32.5%)

8006 Westview  
Lot: 15,598  
Bldg: 2781 (17.8%)

8008 Westview  
Lot: 14,500  
Bldg: 4878 (33.6%)

0130050136

013205

5105 Beverly Hills  
Lot: 10,549  
Bldg: 1748 (16.6%)

5103 Beverly Hills  
Lot: 10,889  
Bldg: 3408 (31.0%)

5101 Beverly Hills  
Lot: 10,278  
Bldg: 3229 (31.4%)

8013 Westview  
Lot: 10,372  
Bldg: 2499 (24.0%)

8019 Westview  
Lot: 9,006  
Bldg: 2628 (29.2%)

8014 Westview  
Lot: 13,772  
Bldg: 4105 (29.2%)

8008 Westview  
Lot: 14,500  
Bldg: 4878 (33.6%)

0130050144

51050500610

0130050102

6.1 RESERVE  
OF LOTS  
0132050102

BEVERLY HILLS DR

0132050101

0132050101

0132050101

0132050101

0132050101

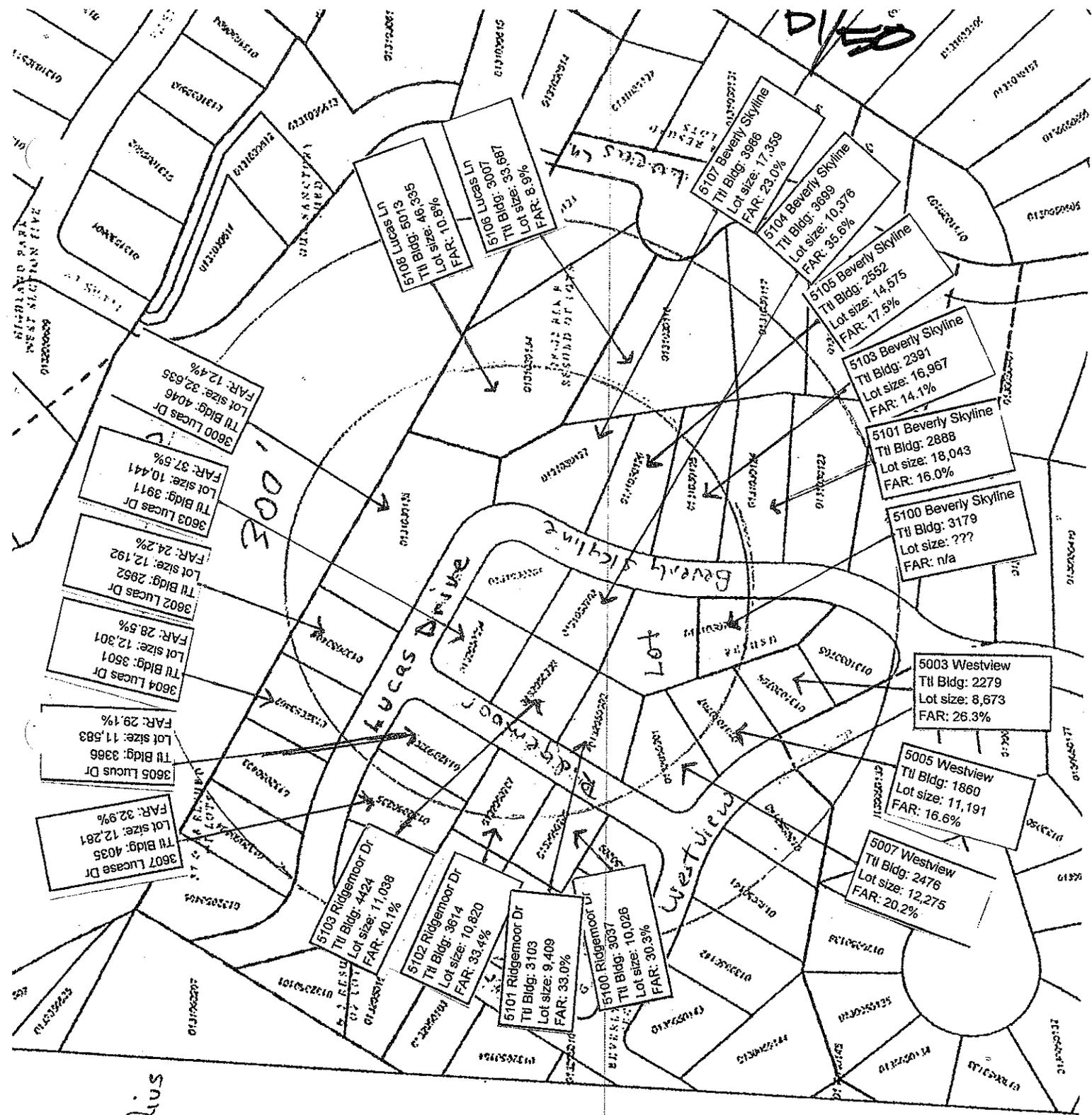
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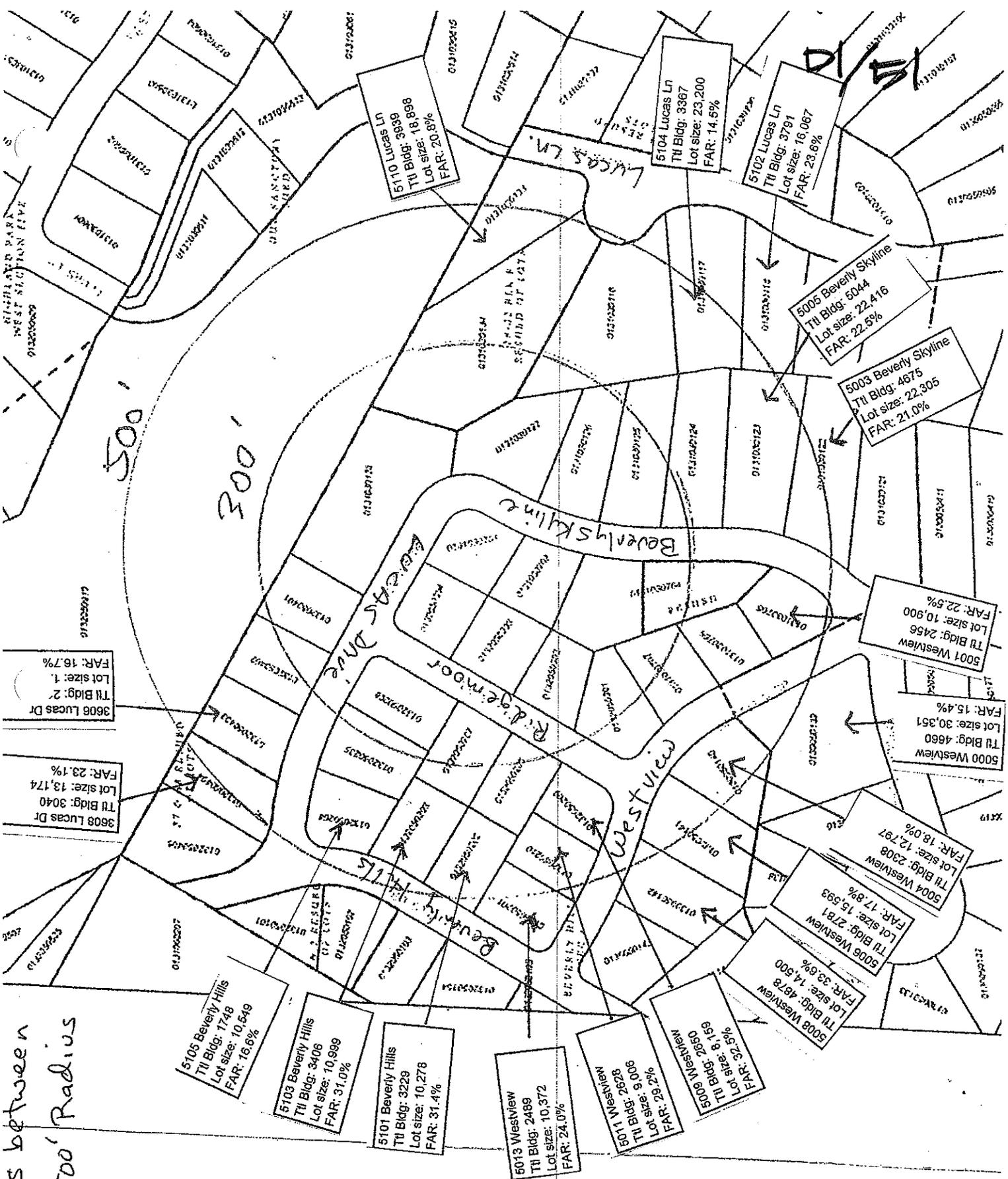
0132050101



Properties within 300' radius



Properties between  
300' and 500' Radius



RESIDENTIAL WITHIN 300 FEET OF 100 BEVERLY SKYLINE

Resident	Address	Lot Size (SF)	Living Area	Tk Carport	Storage	Porch / Terrace	Total	FAR	Allowable Building Area (40% of Lot Size)
Walker (existing)	5106 Beverly Skyline	10,241	2,642	588	713	24	3,967	38.7%	4,0
Walker (proposed)		10,241	3,046	588	713	24	4,371	42.7%	4,0
Robinson	3600 Lucas Dr	32,635	3,332	434		280	4,046	12.4%	13,0
Sanders	3602 Lucas Dr	12,192	2,350	430	96	76	2,952	24.2%	4,8
Habitzreiter	3603 Lucas Dr	10,441	3,281	630			3,911	37.5%	4,1
Doyle	3604 Lucas Dr	12,301	3,093	400		8	3,501	28.5%	4,9
Caramelli	3605 Lucas Dr	11,583	2,478	504		384	3,366	29.1%	4,6
Hadden	3606 Lucas Dr	12,814	1,592	421	119	8	2,140	16.7%	5,1
Goff	3607 Lucas Dr	12,281	3,060	550		425	4,035	32.9%	4,9
Stevens	3608 Lucas Dr	13,174	2,570	440		30	3,040	23.1%	5,2
Presnel	5000 Westview	30,351	3,237	525	346	552	4,660	15.4%	12,1
Angermann	5001 Westview	10,900	1,736	400		320	2,456	22.5%	4,3
Roberts	5003 Beverly Skyline	22,305	3,136	441	300	798	4,675	21.0%	8,9
Capitol Endeavors	5003 Westview	8,673	1,583	500		196	2,279	26.3%	3,4
Philo	5004 Westview	12,797	1,668	408	80	152	2,308	18.0%	5,1
McPhillips	5005 Beverly Skyline	22,416	3,322	768		954	5,044	22.5%	8,9
Casey	5005 Westview	11,191	1,380	360		120	1,860	16.6%	4,4
Whiteaker	5006 Westview	15,593	1,775	620		386	2,781	17.8%	6,2
Tatu	5007 Westview	12,275	1,856	400	220		2,476	20.2%	4,9
Toprac	5008 Westview	14,500	3,193	707		978	4,878	33.6%	5,8
Kawaguchi	5009 Westview	8,159	1,816	504		330	2,650	32.5%	3,2
Cox	5011 Westview	9,006	1,576	396	60	596	2,628	29.2%	3,6
Knoll	5013 Westview	10,372	1,625	540		324	2,489	24.0%	4,14
Higgins	5100 Beverly Skyline	???	2,436	607		136	3,179	n/a	n
Jones	5100 Ridgemoor Dr	10,026	2,437	480	120		3,037	30.3%	4,01
Gordon	5101 Beverly Hills	10,278	2,131	504	384	210	3,229	31.4%	4,11
Kadens	5101 Beverly Skyline	18,043	2,164	420		304	2,888	16.0%	7,21
Weber	5101 Ridgemoor Dr	9,409	2,228	441	72	362	3,103	33.0%	3,76
Lacy	5102 Lucas Ln	16,067	2,894	420		477	3,791	23.6%	6,42
Sackett	5102 Ridgemoor Dr	10,820	3,042	464	108		3,614	33.4%	4,32
Cone	5103 Beverly Hills	10,999	2,782	520		104	3,406	31.0%	4,40
Hecker	5103 Beverly Skyline	16,967	1,487	456	120	328	2,391	14.1%	6,78
Keig	5103 Ridgemoor Dr	11,038	3,384	462		578	4,424	40.1%	4,41
Barrett	5104 Beverly Skyline	10,376	3,115	540		44	3,699	35.6%	4,15
Gamble	5104 Lucas Ln	23,200	2,571	500		296	3,367	14.5%	4,15
Oswalt	5105 Beverly Hills	10,549	1,748			144	1,748	16.6%	9,28
Pacheco	5105 Beverly Skyline	14,575	1,832	576		16	2,552	17.5%	4,22
Shadden	5106 Lucas Ln	33,687	2,571	420		16	3,007	8.9%	5,830
Flowers	5107 Beverly Skyline	17,359	3,220	550		216	3,986	23.0%	13,475
Estes	5108 Lucas Ln	46,335	3,433	625		955	5,013	10.8%	6,943
Box	5110 Lucas Ln	18,898	2,469	567		903	3,939	20.8%	18,534
									7,559

D/52



# AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE

## SELLER'S DISCLOSURE NOTICE

D1/53

THIS FORM IS FURNISHED BY THE AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE FOR USE BY ITS PARTICIPANTS. USE OF THIS FORM BY PERSONS WHO ARE NOT PARTICIPANTS OF THE AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE IS NOT AUTHORIZED.

NOTE: EFFECTIVE JANUARY 1, 1994, SECTION 5.008 OF THE TEXAS PROPERTY CODE REQUIRES A SELLER OF RESIDENTIAL REAL PROPERTY OF MORE THAN ONE DWELLING UNIT TO DELIVER A COPY OF THE SELLER'S DISCLOSURE NOTICE, COMPLETE TO THE BEST OF THE SELLER'S BELIEF AND KNOWLEDGE TO A PURCHASER ON OR BEFORE THE EFFECTIVE DATE OF A CONTRACT FOR THE SALE OF THE PROPERTY. IF A CONTRACT IS ENTERED INTO WITHOUT THE SELLER PROVIDING THE NOTICE, THE BUYER MAY TERMINATE THE CONTRACT FOR ANY REASON WITHIN SEVEN (7) DAYS AFTER RECEIVING THE NOTICE. IF INFORMATION REQUIRED BY THE NOTICE IS UNKNOWN TO THE SELLER, THE SELLER MAY INDICATE THAT FACT ON THE NOTICE AND THEREBY COMPLY WITH THE REQUIREMENTS OF SECTION 5.008 OF THE TEXAS PROPERTY CODE.

CONCERNING THE PROPERTY AT 5106 Beverly Skyline, Austin, Tx  
(Street, Address and City)

THIS NOTICE IS A DISCLOSURE OF SELLER'S KNOWLEDGE OF THE CONDITION OF THE PROPERTY AS OF THE DATE SIGNED BY SELLER AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE PURCHASER MAY WISH TO OBTAIN. IT IS NOT A WARRANTY OF ANY KIND BY SELLER, SELLER'S AGENTS, OR ANY OTHER AGENT.

Seller  is  is not occupying the Property. If unoccupied, how long since Seller has occupied the Property? \_\_\_\_\_  
Seller  is  is not knowledgeable of the current condition of the property.

### FEATURES AND EQUIPMENT TO REMAIN: (Mark all appropriate items TO REMAIN and their working condition)

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> DISHWASHER  | <input type="checkbox"/> POOL  | <input type="checkbox"/> SPA/HOT TUB                                 |
| <input type="checkbox"/> DRYER [E] [G] [110V] [220V]  | <input type="checkbox"/> POOL ACCESSORIES/EQUIPMENT                  | <input type="checkbox"/> SPA HEATER [E] [G] [SOLAR]                  |
| <input checked="" type="checkbox"/> DRYER HOOKUPS [110V] [220V] [G]   | <input type="checkbox"/> POOL HEATER [E] [G] [SOLAR]                 | <input type="checkbox"/> CABLE TV WIRING                             |
| <input checked="" type="checkbox"/> GARBAGE DISPOSAL  | <input type="checkbox"/> INTERCOM SYSTEM                             | <input type="checkbox"/> SATELLITE DISH SYSTEM                       |
| <input checked="" type="checkbox"/> MICROWAVE   | <input type="checkbox"/> SATELLITE DISH SYSTEM                       | <input type="checkbox"/> OWNED <input type="checkbox"/> LEASED       |
| <input checked="" type="checkbox"/> OVEN [E] [G]  | <input type="checkbox"/> SATELLITE DISH SYSTEM                       | MO LEASE \$ _____ MO SVC CHG \$ _____                                |
| <input checked="" type="checkbox"/> RANGE [E] [G]   | <input type="checkbox"/> SPECIALTY WIRING _____                      | <input type="checkbox"/> T.V. ANTENNA                                |
| <input checked="" type="checkbox"/> REFRIGERATOR(S) # <u>basement only</u>  | <input type="checkbox"/> T.V. ANTENNA                                | <input type="checkbox"/> AUTOMATIC LAWN SPRINKLER SYSTEM             |
| <input type="checkbox"/> TRASH COMPACTOR  | <input type="checkbox"/> AUTOMATIC LAWN SPRINKLER SYSTEM             | <input type="checkbox"/> CARPORT: ATTACHED [Y] [N]                   |
| <input type="checkbox"/> WASHER   | <input type="checkbox"/> CARPORT: ATTACHED [Y] [N]                   | # SPACES _____   |
| <input checked="" type="checkbox"/> WASHER HOOKUPS [110V] [220V]  | <input type="checkbox"/> SAUNA                                       | <input checked="" type="checkbox"/> FENCES/FENCE WALLS               |
| <input checked="" type="checkbox"/> WATER HEATER # _____ [E] [G] [SOLAR]  | <input type="checkbox"/> SAUNA                                       | <input checked="" type="checkbox"/> FRENCH DRAIN                     |
| <input type="checkbox"/> WATER SOFTENER <input type="checkbox"/> OWNED <input type="checkbox"/> LEASED                        | <input type="checkbox"/> SPECIALTY WIRING _____                      | <input checked="" type="checkbox"/> GARAGE: ATTACHED [Y] [N]         |
| MO LEASE \$ _____ MO SVC CHG \$ _____   | <input type="checkbox"/> T.V. ANTENNA                                | # SPACES <u>4</u>  |
| <input type="checkbox"/> SAUNA  | <input type="checkbox"/> AUTOMATIC LAWN SPRINKLER SYSTEM             | <input checked="" type="checkbox"/> GARAGE DOOR OPENER # _____ [E]   |
| <input checked="" type="checkbox"/> FIREPLACE <input checked="" type="checkbox"/> WOOD <input type="checkbox"/> GAS # _____   | <input type="checkbox"/> CARPORT: ATTACHED [Y] [N]                   | <input checked="" type="checkbox"/> GARAGE REMOTE CONTROL # <u>2</u> |
| <input type="checkbox"/> FIREPLACE LOGS/ARTIFICIAL # _____  | # SPACES _____   | <input type="checkbox"/> GAZEBO                                      |
| <input type="checkbox"/> GAS FIRE STARTER # _____   | <input checked="" type="checkbox"/> FENCES/FENCE WALLS               | <input checked="" type="checkbox"/> MAILBOX                          |
| <input type="checkbox"/> MOCK FIREPLACE WITH CHIMNEY # _____  | <input checked="" type="checkbox"/> FRENCH DRAIN                     | <input type="checkbox"/> OUTDOOR GRILL                               |
| <input type="checkbox"/> ATTIC FAN(S) # _____   | <input checked="" type="checkbox"/> GARAGE: ATTACHED [Y] [N]         | <input checked="" type="checkbox"/> PATIO/DECKING                    |
| <input checked="" type="checkbox"/> BATHROOM HEATER # <u>1</u> [E] [G]  | # SPACES <u>4</u>  | <input checked="" type="checkbox"/> PLUMBING SYSTEM                  |
| <input checked="" type="checkbox"/> CEILING FAN(S) # <u>6</u>   | <input checked="" type="checkbox"/> GARAGE DOOR OPENER # _____ [E]   | <input type="checkbox"/> PUBLIC SEWER SYSTEM                         |
| <input checked="" type="checkbox"/> CENTRAL A/C # <u>2</u> [E] [G]  | <input checked="" type="checkbox"/> GARAGE REMOTE CONTROL # <u>2</u> | <input type="checkbox"/> SEPTIC SYSTEM/TANK                          |
| <input checked="" type="checkbox"/> CENTRAL HEAT # <u>2</u> [E] [G] [HP]  | <input type="checkbox"/> GAZEBO                                      | DATE PUMPED _____  |
| <input type="checkbox"/> EVAPORATIVE COOLER # _____   | <input checked="" type="checkbox"/> MAILBOX                          | <input type="checkbox"/> PORTABLE STORAGE BLDG(S) # _____            |
| <input checked="" type="checkbox"/> EXHAUST FANS # <u>3</u> [E]   | <input type="checkbox"/> OUTDOOR GRILL                               | <input checked="" type="checkbox"/> RAIN GUTTERS                     |
| <input type="checkbox"/> GAS FIXTURES   | <input checked="" type="checkbox"/> PATIO/DECKING                    | <input type="checkbox"/> SUMP PUMP                                   |
| <input type="checkbox"/> GAS LINES (NAT/LP)   | <input checked="" type="checkbox"/> PLUMBING SYSTEM                  | <input checked="" type="checkbox"/> WINDOW SCREENS                   |
| <input type="checkbox"/> SPACE HEATER # _____ [E] [G]   | <input type="checkbox"/> PUBLIC SEWER SYSTEM                         | <input type="checkbox"/> OTHER _____                                 |
| <input checked="" type="checkbox"/> WALL/WINDOW A/C # <u>basement</u>   | <input type="checkbox"/> SEPTIC SYSTEM/TANK                          |  |
| <input type="checkbox"/> CARBON MONOXIDE DETECTOR   | DATE PUMPED _____  |  |
| <input checked="" type="checkbox"/> SMOKE DETECTORS # <u>3</u>  | <input type="checkbox"/> PORTABLE STORAGE BLDG(S) # _____            |  |
| <input checked="" type="checkbox"/> SECURITY SYSTEM <input checked="" type="checkbox"/> OWNED <input type="checkbox"/> LEASED | <input checked="" type="checkbox"/> RAIN GUTTERS                     |  |
| MO LEASE \$ _____ MO SVC CHG \$ <u>40</u>   | <input type="checkbox"/> SUMP PUMP                                   |  |
| <input type="checkbox"/> FIRE ALARMS/DETECTOR(S) # _____  | <input checked="" type="checkbox"/> WINDOW SCREENS                   |  |

Explain all No [N] or unknown [U] answers: \_\_\_\_\_

The following property is to be excluded from the sale: shuffleboard, potted plants

AC /SD 07/01 Initialed for identification by Seller [Signature] and Buyer [Signature] Page 1 of 4

Seller's Disclosure Notice concerning: 5106 Beverly Skyline, Austin, Tx  
(Property Address)

D/EA

SERVICES TO THIS PROPERTY PROVIDED BY: (Fill in names of suppliers)

WATER Supply:  CITY  WELL  PRIVATE  MUD  
 WCID  COOP  OTHER  
WASTEWATER:  CITY  COOP  MUD  OTHER  
 SEPTIC  FAR 1407 (Information About On-Site Sewer Facility)  
ELECTRICITY: city  
CABLE TV: Time Warner  
SOLID WASTE PROVIDER: city

GAS Supply:  UTILITY  TANK  BOTTLE  COOP  
TANK/BOTTLE MO. LEASE \$ \_\_\_\_\_  
HOMEOWNER'S ASSOC.: \_\_\_\_\_  
MONTHLY HOMEOWNER'S FEE: \$ \_\_\_\_\_  
MANAGER'S NAME: \_\_\_\_\_  
TELEPHONE: \_\_\_\_\_  
HOA Transfer Fee \$ \_\_\_\_\_  
HOA Transfer Fee Paid by  Seller  Buyer  Negotiable  
 SELLER TO OBTAIN HOA INFORMATION

ARE YOU (SELLER) AWARE OF ANY KNOWN DEFECTS/MALFUNCTIONS IN ANY OF THE FOLLOWING? (Mark Yes [Y] if you are aware, mark No [N] if you are not aware.)

- |                      |   |                       |   |                  |   |
|----------------------|---|-----------------------|---|------------------|---|
| BASEMENT             | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | FIREPLACE(S)          | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | ROOF:            | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>               |
| CEILINGS             | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | FLOORS                | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | ROOF APPROX. AGE | <u>19 yrs</u> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| DOORS                | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | FOUNDATION/SLAB(S)    | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | ROOF TYPE        | <u>tin</u> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>    |
| DRIVEWAY(S)          | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | INTERIOR WALLS        | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | SIDEWALKS        | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>               |
| ELECTRICAL SYSTEM(S) | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | LIGHTING FIXTURES     | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | SWIMMING POOL    | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>               |
| EXTERIOR WALLS       | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | PLUMBING/SEWER/SEPTIC | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | WINDOWS          | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>               |

OTHER STRUCTURAL COMPONENTS (DESCRIBE): steep basement stairs

If the answer to any of the above is yes, explain. (Attach additional sheets if necessary):

ARE YOU (SELLER) AWARE OF ANY OF THE FOLLOWING? (Mark Yes [Y] if you are aware, mark No [N] if you are not aware.)

- |                                       |   |  |   |
|---------------------------------------|---|--|---|
| TERMITES                              | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | PREVIOUS FLOODING OF LAND                            | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| DESTROYING INSECTS                    | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | IMPROPER DRAINAGE                                    | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| TERMITE OR WOOD ROT NEEDING REPAIR    | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | LOCATED IN 100 YEAR FLOOD PLAIN                      | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| PREVIOUS TERMITE DAMAGE <u>garage</u> | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | PRESENT FLOOD INSURANCE COVERAGE                     | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| PREVIOUS TERMITE TREATMENT            | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | SETTLING OR SOIL MOVEMENT                            | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| WATER PENETRATION OF BLDG             | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | FAULTLINES OR LANDFILL                               | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| PREVIOUS STRUCTURAL OR ROOF REPAIR    | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | SUBSURFACE STRUCTURE(S) /PIT(S)                      | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| ASBESTOS COMPONENTS                   | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | SPRING(S): UNDERGROUND                               | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| UREA FORMALDEHYDE INSULATION          | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | SPRING(S): INTERMITTENT/WEATHER                      | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| RADON GAS                             | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | UNDERGROUND STORAGE TANKS                            | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| LEAD BASED PAINT                      | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | ENDANGERED SPECIES/HABITAT ON PROPERTY               | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| ALUMINUM WIRING                       | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | HAZARDOUS OR TOXIC WASTE                             | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| PREVIOUS FIRES                        | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | DISEASED TREES                                       | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| FOUNDATION REPAIR                     | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | FENCE LINES NOT CORRESPONDING TO PROPERTY BOUNDARIES | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
| PREVIOUS FLOODING OF BUILDING(S)      | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> | WETLANDS ON PROPERTY                                 | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |
|                                       |   | UNPLATTED EASEMENTS                                  | <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> |

OTHER: termite damage repaired; annual treatment  
some aluminum wiring

5. ARE YOU (SELLER) AWARE OF ANY ITEM, EQUIPMENT, OR SYSTEM IN OR ON THE PROPERTY THAT IS NEED OF REPAIR, WHICH HAS NOT BEEN PREVIOUSLY DISCLOSED IN THIS NOTICE?  
 Yes (if you are aware)  No (if you are not aware). If yes, explain (attach additional sheets if necessary):

Initialed for identification by Seller [Signature] and Buyer [Signature]

01/55

Seller's Disclosure Notice concerning: 5706 Beverly Skyline, Austin, Tx  
(Property Address)

ARE YOU (SELLER) AWARE OF ANY OF THE FOLLOWING? (Mark Yes [Y] if you are aware, mark No [N] if you are not aware.)

- Room additions, structural modifications, or other alterations or repairs made without necessary permits or not in compliance with building code in effect at that time?
- Homeowners' Association or maintenance fees or assessments?
- Any "common area" facilities (such as pools, tennis courts, walkways, or other areas) co-owned in undivided interest with others?
- Any notices of violations of deed restrictions or governmental ordinances affecting the condition or use of the Property?
- Any lawsuits or other legal proceedings directly or indirectly affecting the Property?
- Any condition of the Property which materially affects the physical health or safety of an individual?
- Features of the Property shared in common with adjoining landowners, such as walls, fences and driveways, whose use or responsibility for maintenance may have an effect on the subject Property?
- Any encroachments, easements or similar matters that may affect your interest in the subject Property?
- Land fill (compacted or otherwise) on the property or any portion thereof?
- Any settling from any cause or slippage, sliding or other soil problems?
- Major damage to the property or any of the structures from fire, earthquake, floods or landslides?
- Any future highway, freeway, air traffic patterns which affects this real Property?
- Any future annexation plans which affect this real Property?
- Within the previous 12 months, has there been an equity loan on this Property? If Yes, date \_\_\_\_/\_\_\_\_/\_\_\_\_
- Flood Insurance on Property?
- Previous FEMA claim paid?
- Death on the Property other than death caused by: natural causes, suicide, or accident unrelated to Property's condition.
- Was the dwelling built before 1978?  Unknown
- Any repairs or treatment, other than routine maintenance, made to the Property to eliminate environmental hazards such as asbestos, radon, lead-based paint, urea formaldehyde, or mold?
- Other items of concern?

If the answer to any of the above is yes, explain. (Attach additional sheets as necessary):

built 1975

CHECK ANY TAX EXEMPTION(S) WHICH YOU (SELLER) CURRENTLY CLAIM FOR THE PROPERTY:

- Homestead
- Over 65
- None
- Disabled
- Disabled Veteran
- Other
- Agricultural
- Unknown

HAVE YOU (SELLER) RECEIVED ANY WRITTEN INSPECTION REPORTS FROM PERSONS WHO REGULARLY PROVIDE INSPECTIONS AND WHO ARE EITHER LICENSED AS INSPECTORS OR OTHERWISE PERMITTED BY LAW TO PERFORM INSPECTIONS?  Yes  No

If yes, attach copies and list the following:

Date of Inspection	Name of Document	Author of Report	Number of Pages

IS A PREVIOUS SELLER'S DISCLOSURE AVAILABLE?  Yes  No, if so, please attach.  
 IS A CURRENT SURVEY AVAILABLE?  Yes  No, if so, please attach.  
 HAVE ANY CHANGES BEEN MADE THAT WOULD AFFECT THE SURVEY?  Yes  No

HAVE YOU (SELLER) MADE, OR HAD MADE, MAJOR REPAIRS OR IMPROVEMENTS (COSTING \$500 OR MORE) TO THE PROPERTY DURING THE TIME YOU HAVE OWNED THE PROPERTY?  Yes  No. ARE YOU AWARE OF MAJOR REPAIRS OR IMPROVEMENTS MADE BY PREVIOUS OWNERS?  Yes  No. If yes to either, please explain.

1986 addition and remodel  
2001 kitchen remodel, garage enclosure, rebuilt entrance  
2005 interior painting, decks painting  
2003 Replaced downstairs (main level) heat pump; 2004 replaced upstairs (2nd level) heat  
a/c & heat system a/c & heat pump system

ACTRIS/SD 07/01 Replaced hot tub system  
Initialed for identification by Seller [Signature] and Buyer [Signature]

2001-2

Landscaping front & street-side yard

Seller's Disclosure Notice concerning: 5106 Beverly Skyline, Austin, Tx 01/56  
(Property Address)

0. SELLER HAS NOT RECEIVED ANY NOTICES, EITHER ORAL OR WRITTEN, REGARDING THE NEED FOR REPAIR OR REPLACEMENT OF ANY PORTION OF THE PROPERTY FROM ANY GOVERNMENTAL AGENCY, APPRAISER, INSPECTOR, MORTGAGE LENDER, REPAIR SERVICE OR OTHER PARTY EXCEPT:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

[Signature]  
Seller's Signature

5-6-05  
Date

[Signature]  
Seller's Signature

5/6/05  
Date

THE UNDERSIGNED BUYER HEREBY ACKNOWLEDGES RECEIPT OF A COPY OF THIS STATEMENT.

NOTICE TO BUYER:

LISTING BROKER, Caldwell Banker, AND OTHER BROKER \_\_\_\_\_, ADVISE YOU THAT SELLER'S DISCLOSURE NOTICE WAS COMPLETED BY SELLER, AS OF THE DATE SIGNED. THE LISTING AND OTHER BROKERS HAVE RELIED ON THIS NOTICE AS TRUE AND CORRECT AND HAVE NO REASON TO BELIEVE IT TO BE FALSE OR INACCURATE.

THE TEXAS DEPARTMENT OF PUBLIC SAFETY MAINTAINS A DATABASE THAT CONSUMERS MAY SEARCH, AT NO COST, TO DETERMINE IF REGISTERED SEX OFFENDERS ARE LOCATED IN CERTAIN ZIP CODE AREAS. TO SEARCH THE DATABASE, VISIT [WWW.TXDPS.STATE.TXUS](http://WWW.TXDPS.STATE.TXUS). FOR INFORMATION CONCERNING PAST CRIMINAL ACTIVITY IN CERTAIN AREAS OR NEIGHBORHOODS, CONTACT THE LOCAL POLICE DEPARTMENT.

YOU ARE ENCOURAGED TO HAVE AN INSPECTOR OF YOUR CHOICE INSPECT THE PROPERTY PRIOR TO CLOSING. ANY INSPECTION REPORTS FURNISHED BY THE SELLER ARE PROVIDED FOR INFORMATION PURPOSES ONLY AND ARE NOT INTENDED TO BE A SUBSTITUTE FOR AN INSPECTION PERFORMED BY AN INSPECTOR OF BUYER'S CHOICE.

THE DISCLOSURE NOTICE CONTAINS NO ESTIMATE OF THE NUMBER OF SQUARE FEET OF SPACE WITHIN THE RESIDENCE AND BROKERS MAKE NO REPRESENTATIONS REGARDING SUCH AREA. IF SQUARE FOOTAGE IS IMPORTANT TO BUYER, BUYER SHOULD HAVE IT MEASURED BY A PROFESSIONAL.

\_\_\_\_\_  
Buyer's Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Buyer's Signature

\_\_\_\_\_  
Date

[NOTE: This form furnished by the AUSTIN/CENTRAL TEXAS REALTY INFORMATION SERVICE for the convenience of its Participants.]

01/57



May 18, 2011

Sylvia Benavidez  
 Austin Residential Zoning Review  
 505 Barton Springs Road  
 Austin, TX 78704

Re: Walker Residence, 5106 Beverly Skyline Variance Request

Dear Ms Benavidez:

I am Andrea Torres, President of the Highland Park West Balcones Area Neighborhood Association (HPWBANA). At our monthly public meeting on May 16th, 2011, we heard a presentation from Mr. Kirby Walker regarding plans for an addition and remodel of his home at 5106 Beverly Skyline (78731). It is our understanding that Mr. Walker is asking for an exception to the Floor to Area Ratio (FAR) specified in the McMansion ordinance.

After discussion of the plans the board voted unanimously to find that the remodel did not adversely affect the character of the neighborhood and we support the views of the immediate neighbors affected by this request.

In short, we do not oppose the increase of the FAR from 40% to 42.7%.

If you have any questions about the neighborhood association's position please contact me.

Sincerely,

Andrea Torres  
 HPWBANA President  
 andreatorres11@yahoo.com

D1/58

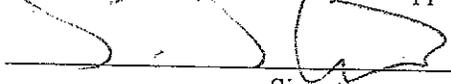
Written comments must be submitted to the board or commission (or the contact person listed on the notice) before or at a public hearing. Your comments should include the board or commission's name, the scheduled date of the public hearing, and the Case Number and the contact person listed on the notice.

Case Number: 2011-035597RM  
ADDRESS 5106 Beverly Skyline  
Contact: Sylvia Benavidez, 974-2522  
Public Hearing: June 1, 2011  
Residential Design and Compatibility Commission

<input checked="" type="checkbox"/> I am in favor
<input type="checkbox"/> I object

SHARON GROVER  
Your Name (please print)

5106 BEVERLY SKYLINE  
Your address(es) affected by this application

  
Signature

5/19/11  
Date

Comments:

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If you use this form to comment, it may be returned to:  
City of Austin  
Sylvia Benavidez  
P.O. Box 1088  
Austin, TX 78767-8810

